

**COASTSIDE COUNTY WATER DISTRICT**

**766 MAIN STREET**

**HALF MOON BAY, CA 94019**

**REGULAR MEETING OF THE BOARD OF DIRECTORS**

**Tuesday, July 11, 2023 - 7:00 p.m.**

The Public may attend this meeting in person at the District Office located at 766 Main Street, Half Moon Bay or choose to watch and/or participate in the public meeting by joining the meeting through the Zoom Videoconference link provided below. The public may also join the meeting by calling the below listed teleconference phone number.

*The meeting will begin at 7:00 p.m.*

Join Zoom Meeting

<https://us06web.zoom.us/j/88691894625?pwd=UFBnaVYrSUNtUTE3NHIRZDFrVDhnZz09>

Meeting ID: 886 9189 4625

Passcode: 182549

One tap mobile

+16699006833,,88691894625#,,,,\*182549# US (San Jose)

Dial by your location

+1 669 900 6833 US (San Jose)

Meeting ID: 886 9189 4625

Passcode: 182549

Find your local number: <https://us06web.zoom.us/j/kbyQAbTp4H>

*Procedures to make a public comment with Zoom Video/Conference – All participants except the Board Members and Staff are muted on entry and video is disabled. Participants may not unmute themselves unless asked to unmute by the Moderator.*

- ***From a computer:*** (1) Using the Zoom App. at the bottom of your screen, click on “Participants” and then “Raise Hand”. Participants will be called to comment in the order in which they are received.
- ***From a phone:*** Using your keypad, dial \*9, and this will notify the Moderator that you have raised your hand. The Moderator will call on you by stating the last 4 digits of your phone number.

The Coastsides County Water District (CCWD) does not discriminate against persons with disabilities. Upon request, the agenda and agenda packet materials can be provided in a format to accommodate special needs. If you require a copy of the agenda or related materials in an

alternative format to accommodate a disability, or if you wish to attend this public meeting and will require special assistance or other special equipment, please call the District at (650) 726-4405 in advance and we will make every reasonable attempt to provide such an accommodation.

All public records relating to an open session item on this agenda, which are not exempt from disclosure pursuant to the California Public Records Act, that are distributed to a majority of the legislative body will be available for public inspection at the CCWD District Office, located at 766 Main Street, Half Moon Bay, CA at the same time that the public records are distributed or made available to the legislative body.

*This agenda and accompanying materials can be viewed on Coastside County Water District's website located at: [www.coastsidewater.org](http://www.coastsidewater.org).*

**The Board of the Coastside County Water District reserves the right to take action on any item included on this agenda.**

**1) ROLL CALL**

**2) PLEDGE OF ALLEGIANCE**

**3) PUBLIC COMMENT**

*At this time members of the public may address the Board of Directors on issues not listed on the agenda which are within the purview of the Coastside County Water District. Comments on matters that are listed on the agenda may be made at the time the Board is considering each item. Each speaker is allowed a maximum of three (3) minutes. Members of the public attending in-person must complete and submit a speaker slip. Members of the public attending via Zoom must first "raise hand" and the Moderator will "ask to unmute". The President of the Board will recognize each speaker, at which time the speaker can provide their comments to the Board.*

**4) CONSENT CALENDAR**

The following matters before the Board of Directors are recommended for action as stated by the General Manager. All matters listed hereunder constitute a Consent Calendar, are considered as routine by the Board of Directors, and will be acted upon by a single vote of the Board. There will be no separate discussion of these items unless a member of the Board so requests, in which event the matter shall be removed from the Consent Calendar and considered as a separate item.

- A. Approval of disbursements for the month ending June 30, 2023:  
Claims: \$ 868,096.21; Payroll: \$ 189,489.38 for a total of \$ 1,057,585.59 ([attachment](#))  
*June 2023 Monthly Financial Claims reviewed and approved by Director Reynolds*
- B. Acceptance of Financial Reports ([attachment](#))
- C. Approval of Minutes of June 13, 2023, Regular Board of Directors Meeting ([attachment](#))
- D. Installed Water Connection Capacity and Water Meters Report ([attachment](#))

- E. Total CCWD Production Report ([attachment](#))
- F. CCWD Monthly Sales by Category Report June 2023 ([attachment](#))
- G. Leak/Flushing Report - June 2023 ([attachment](#))
- H. Monthly Rainfall Reports ([attachment](#))
- I. Approval of Water Service Agreement - HMB Coast LLC / Creekside Court Subdivision ([attachment](#))

5) **MEETINGS ATTENDED / DIRECTOR COMMENTS**

6) **GENERAL BUSINESS**

- A. Fiscal 2022-2023 Year-End Financial Results-Preliminary ([attachment](#))
- B. Consider Approval of Resolution 2023-07 Establishing Appropriations Limit Applicable to District During Fiscal Year 2023-2024 ([attachment](#))
- C. Approval of Change Order #1 for Nunes Water Treatment Plant Upgrades Project ([attachment](#))
- D. Purchase of Hydrants and Check Valves from Underground Republic ([attachment](#))
- E. Nunes Water Treatment Plant Upgrades Project Update #23 ([attachment](#))

7) **MONTHLY INFORMATIONAL REPORTS**

- A. Superintendent of Operations Report ([attachment](#))
- B. Water Resources Informational Report ([attachment](#))

8) **DIRECTOR AGENDA ITEMS - REQUESTS FOR FUTURE BOARD MEETINGS**

9) **ADJOURNMENT**

**COASTSIDE COUNTY WATER DISTRICT  
CLAIMS FOR MAY 2023**

CHECKS				
CHECK DATE	CHECK NO.	VENDOR		AMOUNT
06/09/2023	32311	BADGER METER, INC.	\$	66.00
06/09/2023	32312	BARTKIEWICZ, KRONICK & SHANAHAN	\$	990.00
06/09/2023	32313	BAY AREA WATER SUPPLY &	\$	1,500.00
06/09/2023	32314	IJK & CO INC	\$	796.88
06/09/2023	32315	BFI OF CALIFORNIA, INC.	\$	1,224.09
06/09/2023	32316	COMCAST	\$	286.43
06/09/2023	32317	JAMES COZZOLINO, TRUSTEE	\$	275.00
06/09/2023	32318	COOPERATIVE PERSONNEL SERVICES	\$	7,000.00
06/09/2023	32319	CRYSTAL SMR, INC.	\$	2,579.07
06/09/2023	32320	DE LAGE LANDEN FINANCIAL SERVICES, INC.	\$	1,021.78
06/09/2023	32321	GRAINGER, INC.	\$	254.98
06/09/2023	32322	EMPOWER RETIREMENT, LLC	\$	2,643.96
06/09/2023	32323	HMB BLDG. & GARDEN INC.	\$	116.37
06/09/2023	32324	HMB CHAMBER OF COMMERCE	\$	300.00
06/09/2023	32325	HANSONBRIDGETT. LLP	\$	8,826.00
06/09/2023	32326	HDR ENGINEERING, INC	\$	3,328.46
06/09/2023	32327	HYDROSCIENCE ENGINEERS, INC.	\$	4,738.54
06/09/2023	32328	IRON MOUNTAIN	\$	872.27
06/09/2023	32329	IRVINE CONSULTING SERVICES, INC.	\$	1,823.25
06/09/2023	32330	KENNEDY/JENKS CONSULTANTS	\$	9,197.00
06/09/2023	32331	MONTEREY BAY ANALYTICAL SERVICES, INC.	\$	1,448.00
06/09/2023	32332	OFFICE DEPOT	\$	584.82
06/09/2023	32333	PACIFIC GAS & ELECTRIC CO.	\$	74.71
06/09/2023	32334	PACIFIC GAS & ELECTRIC CO.	\$	22,050.12
06/09/2023	32335	REPUBLIC SERVICES	\$	613.66
06/09/2023	32336	ROGUE WEB WORKS, LLC	\$	567.00
06/09/2023	32337	SAN MATEO CTY PUBLIC HEALTH LAB	\$	1,054.00
06/09/2023	32338	STATE WATER RESOURCES CONTROL BD	\$	65.00
06/09/2023	32339	DARIN STURDIVAN	\$	102.83
06/09/2023	32340	TPX COMMUNICATIONS	\$	1,896.77
06/09/2023	32341	TRI COUNTIES BANK	\$	2,777.41
06/09/2023	32342	UNDERGROUND REPUBLIC WATER WORKS, INC.	\$	1,373.08
06/09/2023	32343	VALIC	\$	4,773.48
06/09/2023	32344	WEST YOST ASSOCIATES, INC	\$	1,690.00
06/09/2023	32345	JUAN CARLOS SALAZAR	\$	2,240.00
06/15/2023	32346	A-1 MILMAC, INC	\$	97.34
06/15/2023	32347	HEALTH BENEFITS ACWA-JPIA	\$	40,936.13
06/15/2023	32348	AT&T MOBILTY	\$	86.48
06/15/2023	32349	AT&T	\$	507.47
06/15/2023	32350	AT&T	\$	602.04
06/15/2023	32351	BAY ALARM COMPANY	\$	2,108.73
06/15/2023	32352	CALCON SYSTEMS, INC.	\$	2,260.00
06/15/2023	32353	CORE & MAIN LP	\$	1,214.28
06/15/2023	32354	RECORDER'S OFFICE	\$	20.00
06/15/2023	32355	RECORDER'S OFFICE	\$	20.00
06/15/2023	32356	RECORDER'S OFFICE	\$	20.00
06/15/2023	32357	COUNTY OF SAN MATEO	\$	305.00
06/15/2023	32358	DATAPROSE, LLC	\$	5,129.02
06/15/2023	32359	HACH CO., INC.	\$	359.02
06/15/2023	32360	HMB BLDG. & GARDEN INC.	\$	13.11
06/15/2023	32361	COASTSIDE NEWS GROUP, INC.	\$	527.00

06/15/2023	32362	HUE & CRY, INC.	\$	12.00
06/15/2023	32363	MISSION SQUARE	\$	36,432.00
06/15/2023	32364	CHRISTOPHER JONES	\$	2,051.34
06/15/2023	32365	CHRISTOPHER JONES	\$	2,493.46
06/15/2023	32366	CHRISTOPHER JONES	\$	1,412.94
06/15/2023	32367	MISSION UNIFORM SERVICES INC.	\$	66.56
06/15/2023	32368	TW ASSOCIATES, LLC	\$	767.23
06/15/2023	32369	MTA PARTS, INC.	\$	47.01
06/15/2023	32370	OFFICE DEPOT	\$	372.87
06/15/2023	32371	PACIFICA COMMUNITY TV	\$	300.00
06/15/2023	32372	PAULO'S AUTO CARE	\$	1,066.48
06/15/2023	32373	PITNEY BOWES GLOBAL FINANCIAL SERVICES LLC	\$	750.03
06/15/2023	32374	RAFTELIS FINANCIAL CONSULTANTS, INC.	\$	3,285.00
06/15/2023	32375	SAN FRANCISCO WATER DEPT.	\$	105,551.76
06/15/2023	32376	TODD SCHMIDT	\$	486.70
06/15/2023	32377	STATE WATER RESOURCES CONTROL BD	\$	60.00
06/15/2023	32378	STATE WATER RESOURCES CONTROL BD	\$	90.00
06/15/2023	32379	STETSON ENGINEERS, INC.	\$	14,653.24
06/15/2023	32380	UNDERGROUND REPUBLIC WATER WORKS, INC.	\$	483.44
06/15/2023	32381	VERIZON CONNECT INC.	\$	292.40
06/15/2023	32382	WESTERN STATES TOOL & SUPPLY CORPORATION	\$	53.16
06/23/2023	32383	POINT PILLAR PROJECT DEVELOPERS LLC	\$	1,190.58
06/22/2023	32384	GRAHAM CONTRACTORS INC.	\$	1,102.94
06/27/2023	32385	ADP, INC.	\$	774.45
06/27/2023	32386	MONTROSE ENVIRONMENTAL SOLUTIONS, INC	\$	704.00
06/27/2023	32387	AT&T	\$	608.51
06/27/2023	32388	BAY AREA WATER SUPPLY &	\$	3,590.00
06/27/2023	32389	CITY OF HALF MOON BAY	\$	58.00
06/27/2023	32390	PETTY CASH	\$	97.11
06/27/2023	32391	CORE & MAIN LP	\$	1,307.73
06/27/2023	32392	CRYSTAL SMR, INC.	\$	2,651.94
06/27/2023	32393	DE LAGE LANDEN FINANCIAL SERVICES, INC.	\$	1,072.87
06/27/2023	32394	SEAN DONOVAN	\$	71.22
06/27/2023	32395	FREYER & LAURETA, INC.	\$	18,580.00
06/27/2023	32396	GRAINGER, INC.	\$	493.69
06/27/2023	32397	EMPOWER RETIREMENT, LLC	\$	2,643.96
06/27/2023	32398	LINTT BRUCE WAYNE TRUST	\$	250.00
06/27/2023	32399	GLENNA LOMBARDI	\$	79.00
06/27/2023	32400	MISSION UNIFORM SERVICES INC.	\$	66.56
06/27/2023	32401	OFFICE DEPOT	\$	796.32
06/27/2023	32402	UBEO WEST, LLC	\$	2,492.66
06/27/2023	32403	SAN MATEO COUNTY	\$	10,083.00
06/27/2023	32404	STANDARD INSURANCE COMPANY	\$	520.77
06/27/2023	32405	DARIN STURDIVAN	\$	93.50
06/27/2023	32406	THERESA ROSE SCHMIEDER, TRUSTEE AND MARILYN CANADAS, TRUST	\$	250.00
06/27/2023	32407	TOWNE FORD	\$	66,609.04
06/27/2023	32408	TYLER TECHNOLOGIES, INC	\$	32,606.17
06/27/2023	32409	UGSI CHEMICAL FEED, INC.	\$	402.95
06/27/2023	32410	USC FOUNDATION OFFICE	\$	382.75
06/27/2023	32411	UNIVAR SOLUTIONS USA INC.	\$	4,315.99
06/27/2023	32412	UPS STORE	\$	122.50
06/27/2023	32413	VALIC	\$	4,773.48
06/27/2023	32414	WEST YOST ASSOCIATES, INC	\$	760.50
06/27/2023	32415	WESTERN STATES TOOL & SUPPLY CORPORATION	\$	97.59
06/29/2023	32416	AMERIGAS PROPANE, LP	\$	156.14
06/29/2023	32417	ANDREINI BROS. INC.	\$	6,388.13

06/29/2023	32418	BALANCE HYDROLOGICS, INC	\$	4,413.92
06/29/2023	32419	BIG CREEK LUMBER	\$	870.02
06/29/2023	32420	BLUE'S ROOFING CO	\$	2,320.00
06/29/2023	32421	JON BRUCE	\$	434.06
06/29/2023	32422	DAVID PEREIRA	\$	805.00
06/29/2023	32423	CASEY CONSTRUCTION INC	\$	245,586.16
06/29/2023	32424	CINTAS FIRST AID & SAFETY	\$	197.28
06/29/2023	32425	COOPERATIVE PERSONNEL SERVICES	\$	4,277.31
06/29/2023	32426	D/B/A CUSTOM TRUCK CUSTOM TOPS, INC.	\$	1,345.97
06/29/2023	32427	EKI INC.	\$	54,735.25
06/29/2023	32428	GRAINGER, INC.	\$	39.23
06/29/2023	32429	HMB BLDG. & GARDEN INC.	\$	465.39
06/29/2023	32430	HDR ENGINEERING, INC	\$	10,284.86
06/29/2023	32431	HYDROSCIENCE ENGINEERS, INC.	\$	6,211.00
06/29/2023	32432	IRVINE CONSULTING SERVICES, INC.	\$	3,382.48
06/29/2023	32433	ELZA LEFEVRE	\$	1,455.00
06/29/2023	32434	MONTEREY BAY ANALYTICAL SERVICES, INC.	\$	2,081.86
06/29/2023	32435	MTA PARTS, INC.	\$	87.46
06/29/2023	32436	PAPE MACHINERY EXCHANGE	\$	391.39
06/29/2023	32437	TEAMSTERS LOCAL UNION #856	\$	1,549.00
06/29/2023	32438	JAMES TETER	\$	480.00
06/29/2023	32439	UNDERGROUND REPUBLIC WATER WORKS, INC.	\$	690.41
06/29/2023	32440	VERIZON WIRELESS	\$	2,268.97
06/29/2023	32441	JUAN CARLOS SALAZAR	\$	2,520.00
		SUBTOTAL CLAIMS FOR MONTH	\$	827,170.27

**WIRE PAYMENTS**

06/15/2023	DFT0000462	PUB. EMP. RETIRE SYSTEM	\$	17,672.81
06/27/2023	DFT0000463	PUB. EMP. RETIRE SYSTEM	\$	17,955.48
6/30/2023		BANK AND CREDIT CARD FEES	\$	5,297.65
		SUBTOTAL WIRE PAYMENTS FOR MONTH	\$	40,925.94

**TOTAL CLAIMS FOR THE MONTH \$ 868,096.21**



	June Budget	June Activity	Variance Favorable (Unfavorable)	Percent Variance	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Variance	Total Budget	
<b>Revenue</b>										
<b>RevType: 1 - Operating</b>										
<a href="#">1-4120-00</a>	Water Revenue	1,351,100.00	1,103,182.72	-247,917.28	-18.35%	13,102,800.00	11,293,525.93	-1,809,274.07	-13.81%	13,102,800.00
	<b>Total RevType: 1 - Operating:</b>	<b>1,351,100.00</b>	<b>1,103,182.72</b>	<b>-247,917.28</b>	<b>-18.35%</b>	<b>13,102,800.00</b>	<b>11,293,525.93</b>	<b>-1,809,274.07</b>	<b>-13.81%</b>	<b>13,102,800.00</b>
<b>RevType: 2 - Non-Operating</b>										
<a href="#">1-4170-00</a>	Water Taken From Hydrants	4,000.00	5,872.06	1,872.06	46.80%	48,000.00	61,502.60	13,502.60	28.13%	48,000.00
<a href="#">1-4180-00</a>	Late Notice - 10% Penalty	4,200.00	7,233.59	3,033.59	72.23%	50,000.00	91,682.55	41,682.55	83.37%	50,000.00
<a href="#">1-4230-00</a>	Service Connections	1,000.00	576.65	-423.35	-42.34%	10,000.00	12,519.12	2,519.12	25.19%	10,000.00
<a href="#">1-4920-00</a>	Interest Earned	2,700.00	20,001.21	17,301.21	640.79%	32,000.00	221,955.67	189,955.67	593.61%	32,000.00
<a href="#">1-4930-00</a>	Tax Apportionments/County Checks	90,000.00	120,593.56	30,593.56	33.99%	950,000.00	1,121,533.49	171,533.49	18.06%	950,000.00
<a href="#">1-4950-00</a>	Miscellaneous Income	1,000.00	-916.52	-1,916.52	-191.65%	10,000.00	373.81	-9,626.19	-96.26%	10,000.00
<a href="#">1-4955-00</a>	Cell Site Lease Income	16,000.00	16,740.50	740.50	4.63%	192,000.00	198,139.92	6,139.92	3.20%	192,000.00
<a href="#">1-4965-00</a>	ERAF Refund - County Taxes	0.00	0.00	0.00	0.00%	500,000.00	621,167.13	121,167.13	24.23%	500,000.00
	<b>Total RevType: 2 - Non-Operating:</b>	<b>118,900.00</b>	<b>170,101.05</b>	<b>51,201.05</b>	<b>43.06%</b>	<b>1,792,000.00</b>	<b>2,328,874.29</b>	<b>536,874.29</b>	<b>29.96%</b>	<b>1,792,000.00</b>
	<b>Total Revenue:</b>	<b>1,470,000.00</b>	<b>1,273,283.77</b>	<b>-196,716.23</b>	<b>-13.38%</b>	<b>14,894,800.00</b>	<b>13,622,400.22</b>	<b>-1,272,399.78</b>	<b>-8.54%</b>	<b>14,894,800.00</b>
<b>Expense</b>										
<b>ExpType: 1 - Operating</b>										
<a href="#">1-5130-00</a>	Water Purchased	289,943.00	140,742.76	149,200.24	51.46%	2,467,503.00	1,866,992.76	600,510.24	24.34%	2,467,503.00
<a href="#">1-5230-00</a>	Nunes T P Pump Expense	4,000.00	3,907.05	92.95	2.32%	48,000.00	51,576.88	-3,576.88	-7.45%	48,000.00
<a href="#">1-5231-00</a>	CSP Pump Station Pump Expense	45,000.00	2,440.89	42,559.11	94.58%	366,000.00	115,306.92	250,693.08	68.50%	366,000.00
<a href="#">1-5232-00</a>	Other Trans. & Dist Pump Expense	2,100.00	1,987.18	112.82	5.37%	25,000.00	23,733.82	1,266.18	5.06%	25,000.00
<a href="#">1-5233-00</a>	Pilarcitos Canyon Pump Expense	600.00	1,845.26	-1,245.26	-207.54%	64,000.00	57,382.31	6,617.69	10.34%	64,000.00
<a href="#">1-5234-00</a>	Denniston T P Pump Expense	10,000.00	20,019.46	-10,019.46	-100.19%	77,000.00	86,847.12	-9,847.12	-12.79%	77,000.00
<a href="#">1-5242-00</a>	CSP Pump Station Operations	1,000.00	988.69	11.31	1.13%	12,000.00	12,907.49	-907.49	-7.56%	12,000.00
<a href="#">1-5243-00</a>	CSP Pump Station Maintenance	3,000.00	9,038.70	-6,038.70	-201.29%	35,000.00	25,969.64	9,030.36	25.80%	35,000.00
<a href="#">1-5246-00</a>	Nunes T P Operations - General	9,000.00	2,247.37	6,752.63	75.03%	97,000.00	94,460.56	2,539.44	2.62%	97,000.00
<a href="#">1-5247-00</a>	Nunes T P Maintenance	10,000.00	5,321.84	4,678.16	46.78%	119,000.00	99,775.77	19,224.23	16.15%	119,000.00
<a href="#">1-5248-00</a>	Denniston T P Operations-General	6,000.00	16,364.36	-10,364.36	-172.74%	64,000.00	68,519.02	-4,519.02	-7.06%	64,000.00
<a href="#">1-5249-00</a>	Denniston T.P. Maintenance	14,000.00	7,852.06	6,147.94	43.91%	140,000.00	168,146.38	-28,146.38	-20.10%	140,000.00
<a href="#">1-5250-00</a>	Laboratory Expenses	7,000.00	6,399.86	600.14	8.57%	77,000.00	58,111.02	18,888.98	24.53%	77,000.00
<a href="#">1-5260-00</a>	Maintenance - General	32,000.00	36,302.78	-4,302.78	-13.45%	380,000.00	474,875.08	-94,875.08	-24.97%	380,000.00
<a href="#">1-5261-00</a>	Maintenance - Well Fields	0.00	0.00	0.00	0.00%	50,000.00	9,000.00	41,000.00	82.00%	50,000.00
<a href="#">1-5263-00</a>	Uniforms	2,000.00	0.00	2,000.00	100.00%	12,000.00	11,734.92	265.08	2.21%	12,000.00
<a href="#">1-5318-00</a>	Studies/Surveys/Consulting	15,000.00	-32,482.86	47,482.86	316.55%	157,000.00	160,871.46	-3,871.46	-2.47%	157,000.00
<a href="#">1-5321-00</a>	Water Resources	2,200.00	2,161.57	38.43	1.75%	26,700.00	9,947.41	16,752.59	62.74%	26,700.00

Monthly Budget Report

For Fiscal: 2022-2023 Period Ending: 06/30/2023

		June Budget	June Activity	Variance Favorable (Unfavorable)	Percent Variance	YTD Budget	YTD Activity	Variance Favorable (Unfavorable)	Percent Variance	Total Budget
<a href="#">1-5322-00</a>	Community Outreach	15,000.00	11,254.56	3,745.44	24.97%	68,000.00	41,428.76	26,571.24	39.08%	68,000.00
<a href="#">1-5325-00</a>	Water Shortage Program	5,000.00	0.00	5,000.00	100.00%	50,000.00	3,829.00	46,171.00	92.34%	50,000.00
<a href="#">1-5381-00</a>	Legal	10,000.00	10,274.67	-274.67	-2.75%	110,000.00	86,199.55	23,800.45	21.64%	110,000.00
<a href="#">1-5382-00</a>	Engineering	6,400.00	5,629.30	770.70	12.04%	76,000.00	90,912.74	-14,912.74	-19.62%	76,000.00
<a href="#">1-5383-00</a>	Financial Services	2,000.00	0.00	2,000.00	100.00%	23,000.00	18,010.00	4,990.00	21.70%	23,000.00
<a href="#">1-5384-00</a>	Computer Services	27,000.00	72,122.85	-45,122.85	-167.12%	309,025.00	307,751.50	1,273.50	0.41%	309,025.00
<a href="#">1-5410-00</a>	Salaries/Wages-Administration	107,682.00	89,058.26	18,623.74	17.30%	1,267,717.00	1,056,876.00	210,841.00	16.63%	1,267,717.00
<a href="#">1-5411-00</a>	Salaries & Wages - Field	149,882.00	139,601.23	10,280.77	6.86%	1,764,505.00	1,717,581.90	46,923.10	2.66%	1,764,505.00
<a href="#">1-5420-00</a>	Payroll Tax Expense	19,055.00	17,361.73	1,693.27	8.89%	224,338.00	196,302.39	28,035.61	12.50%	224,338.00
<a href="#">1-5435-00</a>	Employee Medical Insurance	44,000.00	36,644.77	7,355.23	16.72%	505,000.00	463,060.44	41,939.56	8.30%	505,000.00
<a href="#">1-5436-00</a>	Retiree Medical Insurance	4,500.00	4,335.75	164.25	3.65%	52,000.00	45,474.81	6,525.19	12.55%	52,000.00
<a href="#">1-5440-00</a>	Employees Retirement Plan	51,008.00	47,853.55	3,154.45	6.18%	600,506.00	584,055.27	16,450.73	2.74%	600,506.00
<a href="#">1-5445-00</a>	Supplemental Retirement 401a	36,000.00	36,532.00	-532.00	-1.48%	36,000.00	36,532.00	-532.00	-1.48%	36,000.00
<a href="#">1-5510-00</a>	Motor Vehicle Expense	7,000.00	5,130.27	1,869.73	26.71%	80,000.00	80,593.84	-593.84	-0.74%	80,000.00
<a href="#">1-5620-00</a>	Office & Billing Expenses	53,500.00	29,639.30	23,860.70	44.60%	412,500.00	364,948.69	47,551.31	11.53%	412,500.00
<a href="#">1-5625-00</a>	Meetings / Training / Seminars	4,000.00	1,340.95	2,659.05	66.48%	41,000.00	41,806.55	-806.55	-1.97%	41,000.00
<a href="#">1-5630-00</a>	Insurance	15,000.00	13,747.66	1,252.34	8.35%	161,000.00	157,330.50	3,669.50	2.28%	161,000.00
<a href="#">1-5687-00</a>	Membership, Dues, Subscript.	8,975.00	549.25	8,425.75	93.88%	99,975.00	103,648.00	-3,673.00	-3.67%	99,975.00
<a href="#">1-5688-00</a>	Election Expenses	0.00	0.00	0.00	0.00%	20,000.00	0.00	20,000.00	100.00%	20,000.00
<a href="#">1-5689-00</a>	Labor Relations	1,000.00	0.00	1,000.00	100.00%	6,000.00	0.00	6,000.00	100.00%	6,000.00
<a href="#">1-5700-00</a>	San Mateo County Fees	2,000.00	1,147.13	852.87	42.64%	31,400.00	18,286.34	13,113.66	41.76%	31,400.00
<a href="#">1-5705-00</a>	State Fees	1,000.00	0.00	1,000.00	100.00%	42,000.00	42,877.71	-877.71	-2.09%	42,000.00
	<b>Total ExpType: 1 - Operating:</b>	<b>1,022,845.00</b>	<b>747,360.20</b>	<b>275,484.80</b>	<b>26.93%</b>	<b>10,197,169.00</b>	<b>8,853,664.55</b>	<b>1,343,504.45</b>	<b>13.18%</b>	<b>10,197,169.00</b>
	<b>ExpType: 4 - Capital Related</b>									
<a href="#">1-5715-00</a>	Debt Service/CIEDB 11-099	0.00	0.00	0.00	0.00%	335,508.00	335,507.92	0.08	0.00%	335,508.00
<a href="#">1-5716-00</a>	Debt Service/CIEDB 2016	0.00	0.00	0.00	0.00%	322,417.00	322,417.29	-0.29	0.00%	322,417.00
<a href="#">1-5717-00</a>	Chase Bank - 2018 Loan	0.00	0.00	0.00	0.00%	436,027.00	435,719.08	307.92	0.07%	436,027.00
<a href="#">1-5718-00</a>	First Foundation Bank - 2022	0.00	0.00	0.00	0.00%	495,510.00	495,510.38	-0.38	0.00%	495,510.00
	<b>Total ExpType: 4 - Capital Related:</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>	<b>1,589,462.00</b>	<b>1,589,154.67</b>	<b>307.33</b>	<b>0.02%</b>	<b>1,589,462.00</b>
	<b>Total Expense:</b>	<b>1,022,845.00</b>	<b>747,360.20</b>	<b>275,484.80</b>	<b>26.93%</b>	<b>11,786,631.00</b>	<b>10,442,819.22</b>	<b>1,343,811.78</b>	<b>11.40%</b>	<b>11,786,631.00</b>
	<b>Report Total:</b>	<b>447,155.00</b>	<b>525,923.57</b>	<b>78,768.57</b>		<b>3,108,169.00</b>	<b>3,179,581.00</b>	<b>71,412.00</b>		<b>3,108,169.00</b>



**COASTSIDE COUNTY WATER DISTRICT  
MONTHLY INVESTMENT REPORT  
June 30, 2023**

<b><u>RESERVE BALANCES</u></b>	<b>Current Year as of 6/30/2023</b>	<b>Prior Year as of 06/30/2022</b>
CAPITAL AND OPERATING RESERVE	\$13,367,266.08	\$16,196,085.09
RATE STABILIZATION RESERVE	\$250,000.00	\$250,000.00
<b>TOTAL DISTRICT RESERVES</b>	<b>\$13,617,266.08</b>	<b>\$16,446,085.09</b>

**ACCOUNT DETAIL**

ACCOUNTS WITH TRI COUNTIES BANK		
CHECKING ACCOUNT	\$571,378.37	\$3,944,466.62
CSP T & S ACCOUNT	\$64,093.05	\$200,381.72
MONEY MARKET GEN. FUND (Opened 7/20/17)	\$19,807.22	\$2,019,627.96
LOCAL AGENCY INVESTMENT FUND (LAIF) BALANCE	\$12,961,187.44	\$10,280,808.79
DISTRICT CASH ON HAND	\$800.00	\$800.00
<b>TOTAL ACCOUNT BALANCES</b>	<b>\$13,617,266.08</b>	<b>\$16,446,085.09</b>

*This report is in conformity with CCWD's Investment Policy.*

COASTSIDE COUNTY WATER DISTRICT  
 CAPITAL IMPROVEMENT PROJECTS - STATUS REPORT  
 FISCAL YEAR 2022/2023

Prepared 7.7.2023

6/30/2023

\* Approved June 2022

Status	Approved* CIP Budget FY22/23	Actual To Date FY22/23	(Preliminary) Final FY22/23	Variance vs. Budget	% Completed	Project Status/ Comments
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**Equipment Purchases & Replacement**

06-03	SCADA/Telemetry/Electrical Controls Replacement	ongoing	\$ 50,000			\$ 50,000	n/a	
99-02	Vehicle Fleet Replacement	Completed	\$ 40,000	\$ 101,086	\$ 101,086	\$ (61,086)	100%	Reflects 6.2023 purchase (in FY2023/2024 plan)

**Facilities & Maintenance**

09-09	Fire Hydrant Replacement	ongoing	\$ 140,000	\$ 102,771	\$ 102,771	\$ 37,229	100%	
23-13	Pilarcitos Canyon Culvert Replacement	TBD	\$ 40,000	\$ 1,753	\$ 1,753	\$ 38,248	0%	Planned for Summer 2023
99-01	Meter Change Program	ongoing	\$ 10,000	\$ -	\$ -	\$ 10,000	n/a	

**Pipeline Projects**

20-08	Grandview Pipeline Replacement Project	Completed	\$ 1,650,000	\$ 1,668,906	\$ 1,668,906	\$ (18,906)	100%	
13-02	Pipeline Replacement Under Creek at Pilarcitos Ave/Strawflower	Completed	\$ 400,000	\$ 392,805	\$ 392,805	\$ 7,195	100%	
14-01	Highway 92 - Replacement of Welded Steel Line	In design	\$ 700,000	\$ 61,391	\$ 61,391	\$ 638,609	0%	

**Pump Stations / Tanks / Wells**

21-07	Carter Hill Tank Improvement Project	In design	\$ 200,000	\$ 50,371	\$ 50,371	\$ 149,629	0%	At 100% design
09-18	Denniston Well Field Replacements	TBD	\$ 500,000			\$ 500,000	0%	Consulting work in FY 2022/2023; construction pushed to FY 2023/2024 and future
23-03	CSP Fire Sprinklers	In process	\$ 150,000			\$ 150,000	0%	Summer 2023 implementation
19-05	Tanks - THM Control	Ongoing	\$ 50,000	\$ 19,872	\$ 19,872	\$ 30,128	0%	

**Water Supply Development**

14-25	San Vicente/Denniston Water Supply Development	ongoing	\$ 300,000	\$ 235,748	\$ 235,748	\$ 64,252	n/a	
17-12	Water Reuse Feasibility Study	TBD	\$ 100,000			\$ 100,000	n/a	Feasibility study - to occur over FY 2023/2024

**Water Treatment Plants**

20-14	Nunes Water Treatment Plant Improvement Project	Construction	\$ 3,500,000	\$ 2,714,985	\$ 2,714,985	\$ 785,015	70%	Construction started August 2021; To be completed in FY 2023/2024; moved \$1M to FY2023/2024 due to supply chain issues
23-05	Sodium Hypochlorite Generator Replacement (Nunes)	in design	\$ 200,000	\$ 8,411	\$ 8,411	\$ 191,589	0%	In design - will occur FY 2023/2024
23-09	Denniston Contact Clarifier Hatch Replacements	in design	\$ 75,000	\$ 14,257	\$ 14,257	\$ 60,743	0%	Move to Fall 2023 when Denniston is offline

**UNSCHEDULED/NEW CIP ITEMS FOR CURRENT FISCAL YEAR 2022/2023**

23-08	Nunes Magnetic Meter Project	in process		\$ 248,971	\$ 248,971	\$ (248,971)	90%	Originally in FY2024 plan
23-11	CSP Screens/Valves - Tech Memo/Study	in process		\$ 25,429	\$ 25,429	\$ (25,429)	100%	Tech memo - Kennedy Jenks to review alternatives
NN-00	Unscheduled CIP		\$ 100,000			\$ 100,000	0%	

COASTSIDE COUNTY WATER DISTRICT  
 CAPITAL IMPROVEMENT PROJECTS - STATUS REPORT  
 FISCAL YEAR 2022/2023

Prepared 7.7.2023

		6/30/2023						
		Status	Approved* CIP Budget FY22/23	Actual To Date FY22/23	(Preliminary) Final FY22/23	Variance vs. Budget	% Completed	Project Status/ Comments
* Approved June 2022								
23-02	Poplar Street Pipeline Replacement	in process		\$ 42,443	\$ 42,443	\$ (42,443)	0%	Now planned for Fall, 2023 - Pushed out due to City delays (District's project must be coordinated with City project)
23-10	Highway 92 - Emergency Restoration Project	in design		\$ 135,686	\$ 135,686	\$ (135,686)	0%	Construction estimated to occur in FY2023-2024
30-01	Leak Correlator Equipment	Completed		\$ 27,987	\$ 27,987	\$ (27,987)	100%	

<b>NEW FY2022/2023 CIP TOTAL</b>	<b>\$ 8,205,000</b>	<b>\$ 5,852,870</b>	<b>\$ 5,852,870</b>	<b>\$ 2,352,130</b>
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**FY2021/2022 CIP Carryover Projects**

22-01	Miramontes Point Road Water Main Replacement	in design	\$ -	\$ 35,927	\$ 35,927	\$ (35,927)	n/a	
22-05	ACCELA Planning Software	in process	\$ -	\$ 18,678	\$ 18,678	\$ (18,678)	90%	
22-06	CSP Pump #2 Replacement (2022)	in process	\$ -	\$ 82,687	\$ 82,687	\$ (82,687)	100%	
22-07	Medio Creek and Magellan Hwy 1 Crossing/Miramar Dead Ends	in design	\$ -	\$ 52,615	\$ 52,615	\$ (52,615)	n/a	
22-08	WIMS Software Implementation	in process	\$ -	\$ 40,375	\$ 40,375	\$ (40,375)	60%	
71-2112	Nunes Fuel Tank Replacement	completed	\$ -	\$ 5,140	\$ 5,140	\$ (5,140)	100%	Completed in FY2022-funded by CalOES

<b>FY2021/2022 CARRYOVER PROJECTS</b>	<b>\$ -</b>	<b>\$ 235,422</b>	<b>\$ 235,422</b>	<b>\$ (235,422)</b>
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Green = approved by the Board/in process

<b>TOTAL - FY 2022/2023 CIP + PRIOR YEAR CARRYOVER</b>	<b>\$ 8,205,000</b>	<b>\$ 6,088,292</b>	<b>\$ 6,088,292</b>	<b>\$ 2,116,708</b>
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**Legal Cost Tracking Report  
12 Months At-A-Glance**

**Acct. No.5681  
Patrick Miyaki - HansonBridgett, LLP  
Legal**

Month	Admin (General Legal Fees)	Water Supply Development	Recycled Water	Uninstalled Connection Transfer Program	Capital Improvement Projects	Labor & Employment	Election (CVRA)	Cell Tower Leases	Public Records Requests	Litigation	Non CIP / Infrastructure (Project Review) <i>Reimbursable</i>	Total
Jun-22	18,524	2,528										21,052
Jul-22	6,666											6,666
Aug-22	9,090	3,753		706								13,548
Sep-22	4,898	553		919								6,370
Oct-22	7,071	988										8,058
Nov-22	11,284	1,857			900			158				14,198
Dec-22	4,760	2,884		512	395	277		711	1,861			11,399
Jan-23	3,486			963	2,646				1,938			9,033
Feb-23	3276	504			2,349				378			6,507
Mar-23	3150	3396			2,778				1,050			10,374
Apr-23	1872				1,551				5,490			8,913
May-23	2811	2226	1,050	540	519	0	0	714	966	0		8,826
<b>TOTAL</b>	<b>76,885</b>	<b>18,687</b>	<b>1,050</b>	<b>3,639</b>	<b>11,138</b>	<b>277</b>	<b>0</b>	<b>1,583</b>	<b>11,683</b>	<b>0</b>	<b>0</b>	<b>124,942</b>

**Engineer Cost Tracking Report  
12 Months At-A-Glance**

**Acct. No. 5682  
JAMES TETER  
Engineer**

<b>Month</b>	<b>Admin &amp; Retainer</b>	<b>CIP</b>	<b>Studies and Non - CIP Project</b>	<b>TOTAL</b>	<b>Reimbursable from Projects</b>
<b>Jul-22</b>	480		1,690	<b>2,170</b>	1,690
<b>Aug-22</b>	480		5,714	<b>6,194</b>	5,714
<b>Sep-22</b>	480			<b>480</b>	
<b>Oct-22</b>	480			<b>480</b>	
<b>Nov-22</b>	480			<b>480</b>	
<b>Dec-23</b>	480			<b>480</b>	
<b>Jan-23</b>	480			<b>480</b>	
<b>Feb-23</b>	480			<b>480</b>	
<b>Mar-23</b>	480			<b>480</b>	
<b>Apr-23</b>	480			<b>480</b>	
<b>May-23</b>	480			<b>480</b>	
<b>Jun-23</b>	480			<b>480</b>	
<b>TOTAL</b>	<b>5,760</b>	<b>0</b>	<b>7,404</b>	<b>13,164</b>	<b>7,404</b>

## Calcon T&M Projects Tracking

6/30/2023

Project No.	Name	Status	Proposal Date	Approved Date	Project Budget	Project Actual thru 6/30/22	Project Billings FY2022-2023
<b>FY 2021-2022 Open Projects:</b>							
	Crystal Springs Solar System Backup			12/20/2021		\$18,739.00	
	Nunes Tank Radio Solar Backup			12/20/2021		\$19,927.00	
	Denniston CC Junction Box				\$9,558.00	\$	9,558.00
	Nunes Magnetic Flow Meter			9/28/2022	\$19,585.88	\$	19,585.88
	<b>Open Projects - Subtotal</b>					\$38,666.00	\$29,143.88
<b>Other: Monthly Maintenance</b>							
<b>Tanks</b>							
<b>Crystal Springs Maintenance</b>							
	<b>Nunes Maintenance</b>					\$	20,860.46
	<b>Denniston Maintenance</b>					\$	30,105.16
	<b>Distribution System</b>					\$	40,175.86
<b>Wells</b>							
	<b>Cellular Telemetry</b>					\$	3,609.43
	<b>Subtotal Maintenance</b>					\$	94,750.91
	<b>FINAL TOTAL FY 2022/2023</b>					\$	\$123,894.79

**EKI Environment & Water**  
**Engineering Services Billed FY 2020-2021 to FY 2021-2023**  
**Billed through 6/30/2023**

	Contract Date	Not to Exceed Budget	Status	FY2020-2021	FY2021-2022	FY2022-2023
<b>CIP Project Management</b>						
Fiscal Year 2019-2020	7.29.2019	\$ 180,000.00	Complete	\$ 1,138.80		
Fiscal Year 2020-2021	8.13.2020	\$ 100,000.00	Complete	\$ 66,805.44	\$ 33,162.48	
Fiscal Year 2021-2022 - Non-Complex Main line Extension Services	10.15.2021	\$ 25,000.00	Open		\$ 10,301.46	\$ 8,614.32
Fiscal Year 2021-2022 - Drought Relief Grant Application	12.2021		Complete		\$ 21,074.82	
Fiscal Year 2022-2023 - Capital Improvement Management	4.20.2022	\$ 117,000.00	Open		\$ 5,453.76	\$ 69,511.46
Fiscal Year 2022-2023 - Emergency Engineering Services	2/10/2023	\$ 28,000.00	Open			\$ 26,164.58
Fiscal Year 2022-2023 - Emergency FEMA Grant Application		\$ 15,000.00	Open			\$ 16,568.76
<b>Sub Total - CIP Project Management Services</b>		<b>\$ 465,000.00</b>		<b>\$ 67,944.24</b>	<b>\$ 69,992.52</b>	<b>\$ 120,859.12</b>

<b>Denniston Culvert Replacement-Engineering Services during Construction</b>	<b>18-13</b>	7.8.2020	\$ 48,800.00	Complete	\$ 47,647.17		
<b>Pine Willow Oak Water Main Replacement Project</b>	<b>18-01</b>	7.29.2019	\$ 69,700.00	Complete	\$ 4,991.74		
<b>Grandview/Silver/Terrace/Spindrift Under Hwy 1 PreDesign</b>	<b>20-08</b>	10.15.2019	\$ 59,600.00	Complete	\$ 40,597.27		
<b>Grandview Water Main Replacement Project (Design, Bid Support, construction support)</b>	<b>20-08</b>	7.29.2019	\$ 56,100.00	Complete	\$ 5,144.36		
<b>Grandview Crossing at Hwy 1</b>	<b>20-08</b>	2.9.2021	\$ 156,500.00	Complete	\$ 73,285.99	\$ 37,244.28	\$ 31,578.82
<b>Grandview Crossing at Hwy 1 - Construction Management Services</b>	<b>20-08</b>	9.16.2022	\$ 132,800.00	Complete			\$ 106,755.71
<b>Pilarcitos Creek Crossing Water Main Replacement Preliminary Design</b>	<b>13-02</b>	8.27.2019	\$ 104,600.00	Complete	\$ 1,226.50		
<b>Pilarcitos Creek Crossing Water Main Replacement Design</b>	<b>13-02</b>	7.14.2020	\$ 99,900.00	Complete	\$ 40,191.58	\$ 31,454.78	\$ 28,025.40
<b>Pilarcitos Creek Crossing Water Main Replacement Field Surveys/Land Descriptions</b>	<b>13-02</b>		\$ 28,600.00	Complete		\$ 20,059.82	
<b>Pilarcitos Creek Crossing Water Main Replacement-Engineering Services during construction</b>	<b>13-02</b>	9.13.2022	\$ 132,800.00	Complete			\$ 4,681.04
<b>Highway 92 Potable Water Pipeline Replacement Project Design</b>	<b>14-01</b>	7.2.2021	\$ 24,800.00	Open		\$ 18,139.94	\$ 6,631.56
<b>Highway 92 Environmental Permitting - Emergency Restoration</b>	<b>23-10</b>	3.15.2023	\$ 44,800.00	Open			\$ 321.36
<b>Highway 92 Potable Water Pipeline Emergency Geotechnical</b>	<b>23-10</b>	3.3.2023	\$ 63,400.00	Open			\$ 52,866.37
<b>Highway 92 Potable Water Pipeline Emergency Restoration-Design</b>	<b>23-10</b>	3.15.2023	\$ 219,100.00	Open			\$ 31,945.93
<b>Highway 92 Potable Water Pipeline Future Phases Geotechnical</b>	<b>14-01</b>	3.3.2023	\$ 54,200.00	Open			\$ 25,839.61
<b>Miramontes Point Road Water Main Replacement</b>	<b>22-01</b>	7.14.2021	\$ 177,300.00	Open		\$ 92,356.96	\$ 46,900.62
<b>Purisima Way Water Main Replacement</b>	<b>14-29</b>	10.18.2021	\$ 20,400.00	Complete		\$ 19,840.91	
<b>Medio Crossing - Alternatives Evaluation for Pipeline Replacement</b>	<b>22-07</b>	4.25.2022	\$ 21,900.00	Complete		\$ 8,410.48	\$ 13,419.12
<b>Medio Creek and Magellan Pipeline/Miramar Deadends Design</b>	<b>22-07</b>	3.15.2023	\$ 138,900.00	Open			\$ 37,067.99
<b>Poplar Street Water Main Replacement Project</b>	<b>23-02</b>	10.3.2022	\$ 29,200.00	Open			\$ 22,944.36

Total - All Services

**\$ 281,028.85 \$ 297,499.69 \$ 529,837.01**

**COASTSIDE COUNTY WATER DISTRICT**

**766 MAIN STREET**

**HALF MOON BAY, CA 94019**

**MINUTES OF THE REGULAR MEETING OF THE BOARD OF DIRECTORS**

**Tuesday, June 13, 2023**

The Public was able to participate in the public meeting by joining the meeting in person or through the Zoom Video Conference link provided. The public was also able to join the meeting by calling a provided teleconference phone number.

- 1) **ROLL CALL** - President Muller called the meeting to order at 7:00 p.m. Present at roll call: Vice President Chris Mickelsen, Director Ken Coverdell; Director Bob Feldman, Director Glenn Reynolds was absent.

Also present: Mary Rogren, General Manager, Brendan Adams, Legal Counsel; James Derbin, Superintendent of Operations; Cathleen Brennan, Water Resources Analyst; Gina Brazil, Office Manager; Nancy Trujillo, Accounting Manager and Lisa Sulzinger, Administrative Analyst

- 2) **PLEDGE OF ALLEGIANCE**

- 3) **PUBLIC COMMENT** - There were no public comments.

- 4) **CONSENT CALENDAR**

- A. Approval of disbursements for the month ending May 31, 2023:  
Claims: \$ 1,362,859.59; Payroll: \$ 193,470.13 for a total of \$ 1,556,329.72  
*May 2023 Monthly Financial Claims reviewed and approved by Director Muller*
- B. Acceptance of Financial Reports
- C. Approval of Minutes of May 9, 2023, Special Board of Directors Meeting
- D. Approval of Minutes of May 9, 2023, Regular Board of Directors Meeting
- E. Installed Water Connection Capacity and Water Meters Report
- F. Total CCWD Production Report
- G. CCWD Monthly Sales by Category Report May 2023
- H. Leak/Flushing Report - May 2023
- I. Monthly Rainfall Reports



- J. SFPUC Hydrological Conditions Report – April 2023 and May 2023
- K. Water Service Connection Transfer Report for May 2023

President Muller stated he had reviewed the monthly financial claims and found all to be in order.

**ON MOTION BY Director Coverdell and seconded by Director Mickelsen, the Board voted by roll call vote to approve the Consent Calendar:**

<b>Director Coverdell</b>	<b>Aye</b>
<b>Director Feldman</b>	<b>Aye</b>
<b>Director Reynolds</b>	<b>Absent</b>
<b>Vice-President Mickelsen</b>	<b>Aye</b>
<b>President Muller</b>	<b>Aye</b>

**5) MEETINGS ATTENDED / DIRECTOR COMMENTS**

- President Muller announced that the ACWA Region 5 Board Meeting will take place in Half Moon Bay on July 21, 2023.
- Directors Feldman, Mickelsen, and Reynolds attended the Association of California Water Agencies (ACWA) Spring Conference in Monterey, CA. and gave a brief report.

**6) GENERAL BUSINESS**

**A) Waive the Procedural Requirements for Sealed Competitive Bids and Authorize the General Manager to Procure a New Ford F-250 Diesel 4x4 Crew Cab Truck**

The District budgets annually for vehicle replacement as part of its Capital Improvement Program. In the past the District has participated in the Ford Government fleet concession pricing program, however the program has been suspended. Due to the continuing Ford factory production and supply chain issues, Staff is recommending that the District purchase a new truck from a dealership’s stock by comparing prices of available trucks before purchase.

**ON MOTION BY Director Coverdell and seconded by Director Feldman, the Board voted by roll call vote to waive the procedural requirements for sealed competitive bids and authorize the General Manager to procure a new F-250 diesel 4x4 crew cab truck for a not-to-exceed amount of \$80,000.**

<b>Director Coverdell</b>	<b>Aye</b>
<b>Director Feldman</b>	<b>Aye</b>
<b>Director Reynolds</b>	<b>Absent</b>
<b>Vice-President Mickelsen</b>	<b>Aye</b>
<b>President Muller</b>	<b>Aye</b>

**B) Approval of Professional Services Agreement with EKI Environment & Water, Inc. for Engineering Services for the Highway 92 Potable Water Pipeline Phase I Project**

Mr. Derbin summarized that this is for design services for the non-emergency section of the Highway 92 Potable Water Pipeline Phase 1. The phase 1 project will include 1) 2,500 linear ft of new 10-inch Ductile Iron Pipe (DIP) and 460 ft of 6-inch DIP installed by open trench construction connecting the new DIP water main located behind La Nebbia Winery to Sun Studios and 2) 400 linear feet of 10-inch DIP installed by open trench construction and 260 linear feet of 12-inch High Density Polyethylene installed by Horizontal Directional Drilling under Corinda Los Trancos Creek to replace the existing 12" WS pipe. The scope of services will cover the design, bid support, property acquisition support, and engineering services during construction.

**ON MOTION BY Director Coverdell and seconded by Director Mickelsen, the Board voted by roll call vote to authorize the General Manager to retain the professional services of EKI Environment & Water, Inc. ("EKI") for engineering services for the Highway 92 Potable Water Pipeline Phase I Project for a not-to-exceed budget of \$127,900**

Director Coverdell	Aye
Director Feldman	Aye
Director Reynolds	Absent
Vice-President Mickelsen	Aye
President Muller	Aye

**C) Approval of Professional Services Agreement with Water Works Engineers, LLC for a Water Reuse Feasibility Study**

The District sought and received three proposals for a water reuse feasibility study. The Water Reuse Advisory Committee conducted in-person interviews with the firms and found all to be highly qualified. Staff recommends to move forward with Water Works Engineers, LLC who is a regional west coast firm (with an office in San Mateo) and with strong technical expertise in water and wastewater engineering including feasibility assessment and execution of water reuse projects.

**ON MOTION BY Director Muller and seconded by Director Feldman, the Board voted by roll call vote to approve a Professional Services Agreement with Water Works Engineers, LLC ("Water Works") for a Water Reuse Feasibility Study for a not-to-exceed budget of \$299,977**

Director Coverdell	Aye
--------------------	-----

Director Feldman	Aye
Director Reynolds	Absent
Vice-President Mickelsen	Aye
President Muller	Aye

**D) Approval of Salary Schedule with a Cost-of-Living Adjustment Increase for FY2023-2024 effective July 1, 2023**

Ms. Rogren presented an updated Salary Schedule to be effective July 1, 2023. The salary update includes a 4.9% Cost-of-Living Adjustment based upon the change in the Consumer Price Index-Urban Wage Earners and Clerical Workers – San Francisco-Oakland-San Jose, CA from February to February. She further explained that it is a requirement of CalPERS that the District’s Board of Directors approve the Salary Schedule.

**ON MOTION BY Director Coverdell and seconded by Director Mickelsen, the Board voted by roll call vote to approve Salary Schedule with a Cost-of-Living Adjustment increase for FY2023-2024 effective July 1, 2023**

Director Coverdell	Aye
Director Feldman	Aye
Director Reynolds	Absent
Vice-President Mickelsen	Aye
President Muller	Aye

**E) Approval of Fiscal Year 2023-2024 Operations and Maintenance Budget and Fiscal Year 2023/2024 to Fiscal Year 2032/2033 Capital Improvement Program**

Ms. Rogren shared her presentation, and summarized the projected revenue, operating expenses and debt service for the Operations and Maintenance Budget for Fiscal Year 2023-2024. She also provided an overview of the 10-year Capital Improvement Program Fiscal Years 2023/2024 to Fiscal Year 2032/2033.

**ON MOTION BY Director Feldman and seconded by Director Coverdell, the Board voted by roll call vote to approve the Fiscal Year 2023-2024 Operations and Maintenance Budget and Fiscal Year 2023/2024 to Fiscal Year 2032/2033 Capital Improvement Program**

Director Coverdell	Aye
Director Feldman	Aye
Director Reynolds	Absent
Vice-President Mickelsen	Aye
President Muller	Aye

**F) Nunes Water Treatment Plant Upgrades Project - Update # 22**

Mr. Derbin gave an update on the progress made at the Nunes Water Treatment Plant during May 2023.

**7) MONTHLY INFORMATIONAL REPORTS**

**A. General Manager's Report**

- Ms. Rogren submitted a comment letter to the State Water Resources Control Board in support of an environmental review of a possible amendment to the Bay-Delta Water Quality Control Plan to incorporate a Tuolumne River Voluntary Agreement. Ms. Brennan provided oral comments at the May 18, 2023, State Water Resources Control Board scoping meeting.
- The Districts Customer Service Staff has been promoting the Low Income Home Water Assistance Program (LIHWAP) to those customers who have a past due balance and distributing the flyer to low income communities. This has resulted in payments for seven low income customers.

**B. Superintendent of Operations Report**

Mr. Derbin summarized the Operation Highlights for the month of May 2023.

**C. Water Resources Informational Report**

Ms. Brennan summarized that with the Board's action last month to rescind our Water Shortage Emergency effective immediately when the State Water Resources Control Board's requirement for the District to implement its demand reduction measures for stage 2 drought emergency ended, which happened on June 5, 2023, that the District is no longer in a Water Shortage Emergency. This reverts the District to our normal supply conditions and our water waste Ordinance 2008-01, which prohibits wasteful water use during normal water supply conditions. Staff is considering updating the ordinance with additional prohibitions on water waste that have become standard for California water agencies in the last ten years.

**8) DIRECTOR AGENDA ITEMS - REQUESTS FOR FUTURE BOARD MEETINGS**

There were no requests for future agenda items.

**9) ADJOURNMENT - Board Meeting Adjourned at 8:08 p.m.**

Respectfully submitted,

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Mary Rogren, General Manager  
Secretary to the District

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John Muller, President  
Board of Directors

**COASTSIDE COUNTY WATER DISTRICT**  
**Installed Water Connection Capacity & Water Meters**

FY 2022 / 2023

Installed Water Meters	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Total
<b>HMB Non-Priority</b>													
0.5" capacity increase													
5/8" meter	1	1									1		3
3/4" meter					1								1
1" meter		1											1
1 1/2" meter													
2" meter													
3" meter													
<b>HMB Priority</b>													
0.5" capacity increase													
5/8" meter													
3/4" meter													
1" meter										1			1
1 1/2" meter													
2" meter													
<b>County Non-Priority</b>													
0.5" capacity increase													
5/8" meter		3	1		2	1		1			1		9
3/4" meter													
1" meter													
<b>County Priority</b>													
5/8" meter							1	1					2
3/4" meter													
1" meter													
1.5" meter													
<b>Totals</b>	1	5	1		3	1	1	2		1	2		17

5/8" meter = 1.0 connection  
3/4" meter = 1.5 connections  
1" meter = 2.5 connections  
1.5" meter = 5.0 connections  
2" meter = 8 connections  
3" meter = 17.5 connections

FY 22/23 Capacity (5/8" connection equivalents)	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Totals
HMB Non-Priority	1.0	3.5			1.5						1.0		7.0
HMB Priority										2.5			2.5
County Non-Priority		3.0	1.0		2.0	1.0	1.0	1.0			1.0		10.0
County Priority								1.0					1.0
<b>Total</b>	1.0	6.5	1.0		3.5	1.0	1.0	2.0		2.5	2.0		20.5

**TOTAL CCWD PRODUCTION (MG) ALL SOURCES- FY 2023**

	CCWD Sources			SFPUC Sources		RAW WATER TOTAL	UNMETERED WATER	TREATED TOTAL
	DENNISTON WELLS	DENNISTON RESERVOIR	PILARCITOS WELLS	PILARCITOS LAKE	CRYSTAL SPRINGS RESERVOIR			
<b>JUL</b>	1.92	6.25	0.00	39.07	0.42	47.66	2.63	45.03
<b>AUG</b>	1.70	5.45	0.00	38.23	8.94	54.32	2.90	51.42
<b>SEPT</b>	1.65	5.86	0.00	15.86	27.69	51.06	2.62	48.44
<b>OCT</b>	0.57	3.62	0.00	37.14	3.13	44.46	3.25	41.21
<b>NOV</b>	0.54	13.55	7.66	11.91	2.57	36.23	3.04	33.19
<b>DEC</b>	0.37	10.59	15.88	7.30	2.26	36.40	2.42	33.98
<b>JAN</b>	0.00	0.00	24.62	4.53	0.00	29.15	1.15	28.00
<b>FEB</b>	0.00	0.00	24.29	2.56	0.00	26.85	1.62	25.23
<b>MAR</b>	0.00	0.00	26.21	2.19	0.00	28.40	2.09	26.31
<b>APR</b>	0.00	14.00	0.00	21.47	0.09	35.56	2.22	33.34
<b>MAY</b>	0.00	29.40	0.00	8.40	5.00	42.80	3.98	38.82
<b>JUN</b>	0.00	28.20	0.00	17.17	2.78	48.15	2.63	45.52
<b>TOTAL</b>	6.75	116.92	98.66	205.83	52.88	481.04	30.55	450.49
% MONTHLY TOTAL	0.0%	58.6%	0.0%	35.7%	5.8%	100.0%	5.5%	94.5%
% ANNUAL TO DATE TOTAL	1.4%	24.3%	20.5%	42.8%	11.0%	100.0%	6.4%	93.6%

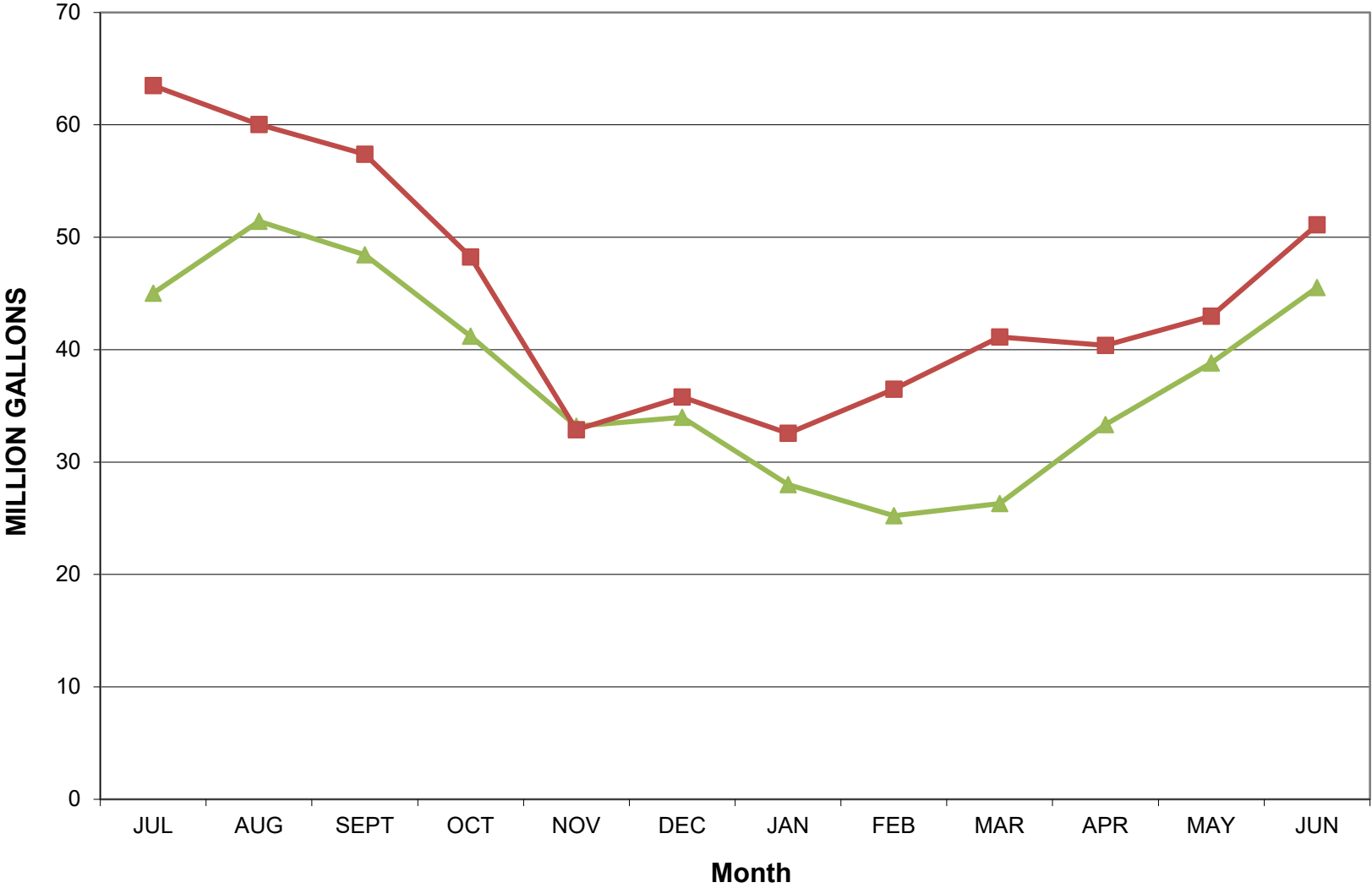
CCWD vs SFPUC- month 58.6%  
 CCWD vs SFPUC- annual 46.2%

12 Month Running Treated Total 456.09

**TOTAL CCWD PRODUCTION (MG) ALL SOURCES- FY 2022**

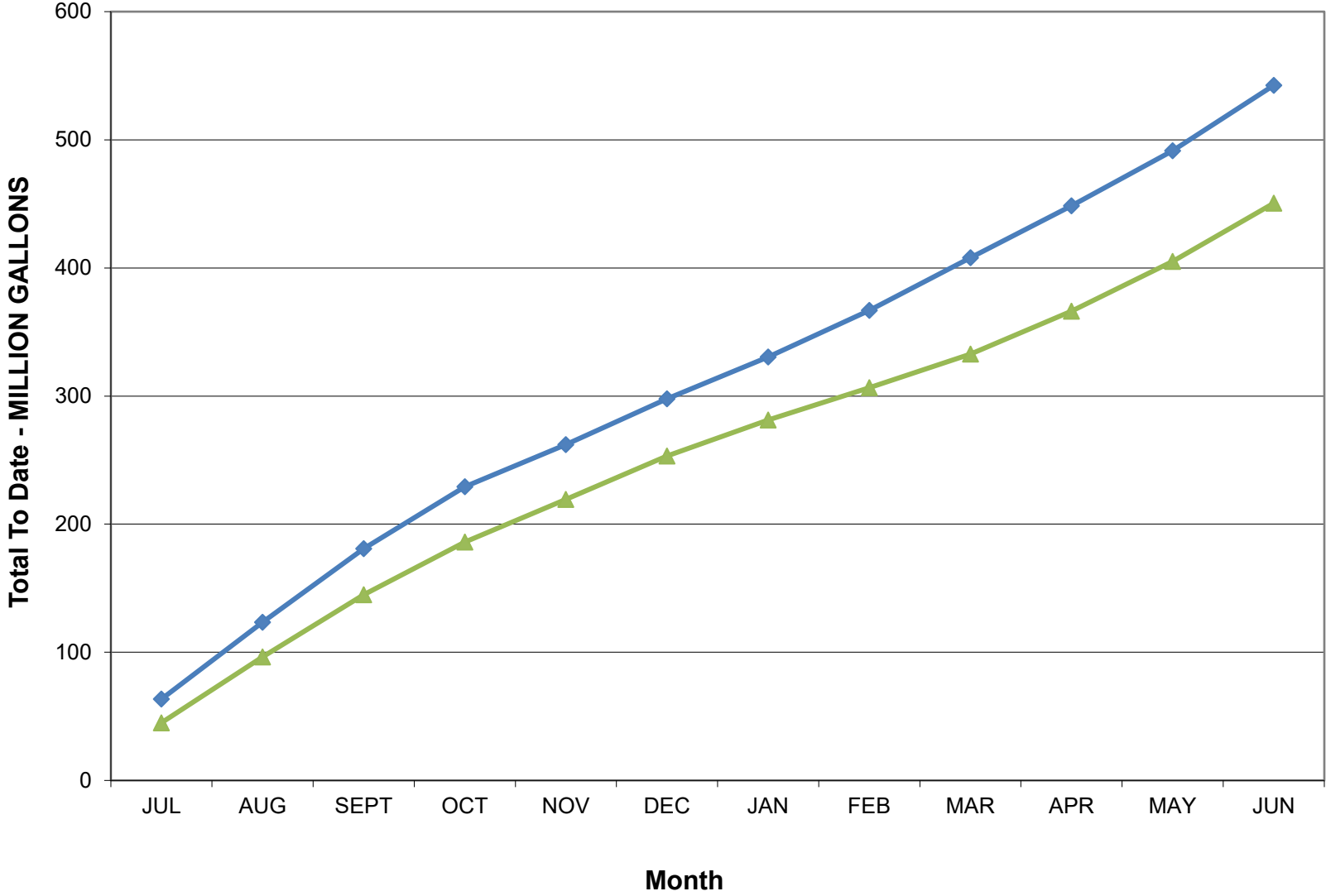
	CCWD Sources			SFPUC Sources		RAW WATER TOTAL	UNMETERED WATER	TREATED TOTAL
	DENNISTON WELLS	DENNISTON RESERVOIR	PILARCITOS WELLS	PILARCITOS LAKE	CRYSTAL SPRINGS RESERVOIR			
<b>JUL</b>	0.00	0.00	0.00	0.00	65.93	65.93	2.44	63.49
<b>AUG</b>	0.00	0.00	0.00	0.00	61.90	61.90	1.86	60.04
<b>SEPT</b>	0.00	0.00	0.00	0.00	59.74	59.74	2.34	57.40
<b>OCT</b>	0.53	1.57	0.00	3.69	44.32	50.11	1.87	48.24
<b>NOV</b>	1.62	17.20	9.78	0.00	7.87	36.47	3.58	32.89
<b>DEC</b>	0.69	5.75	21.2	0.00	10.80	38.44	2.64	35.80
<b>JAN</b>	0.00	7.62	24.44	0.00	3.16	35.22	2.66	32.56
<b>FEB</b>	0.00	14.10	21.88	0.00	3.63	39.61	3.13	36.48
<b>MAR</b>	0.00	14.97	24.71	0.00	5.16	44.84	3.72	41.12
<b>APR</b>	2.33	23.27	0.00	9.22	9.25	44.07	3.68	40.39
<b>MAY</b>	2.15	19.30	0.00	22.75	2.61	46.81	3.84	42.97
<b>JUN</b>	1.91	12.20	0.00	35.05	5.04	54.20	3.08	51.12
<b>TOTAL</b>	9.23	115.98	102.01	70.71	279.41	577.34	34.84	542.50
% TOTAL	1.6%	20.1%	17.7%	12.2%	48.4%	100.0%	6.0%	94.0%

Monthly Production FY 22 vs FY 23





Cumulative Production FY22 vs FY23





MONTH Jun-23						
Coastside County Water District Monthly Discharge Report						
EMERGENCY MAIN AND SERVICE REPAIRS						
	Date Reported Discovered	Date Repaired	Location	Pipe Class	Pipe Size & Type	Estimated Water Loss (MG)
1	6/26/2023	6/26/2023	955 Malaga Street	Service	3/4" Copper	0.000
2						
3						
4						
5						
6						
7						
8						
<b>Totals</b>						<b>0.000</b>

OTHER DISCHARGES	
Total Volumes (MG)	
Flushing Program	0.008
Reservoir Cleaning	0.000
Automatic Blowoffs	0.142
Dewatering Operations	0.000
Other (includes flow testing)	0.000
DISCHARGES GRAND TOTAL (MG)	
<b>0.150</b>	

Coastside County Water District  
 766 Main Street  
 July 2022 - June 2023

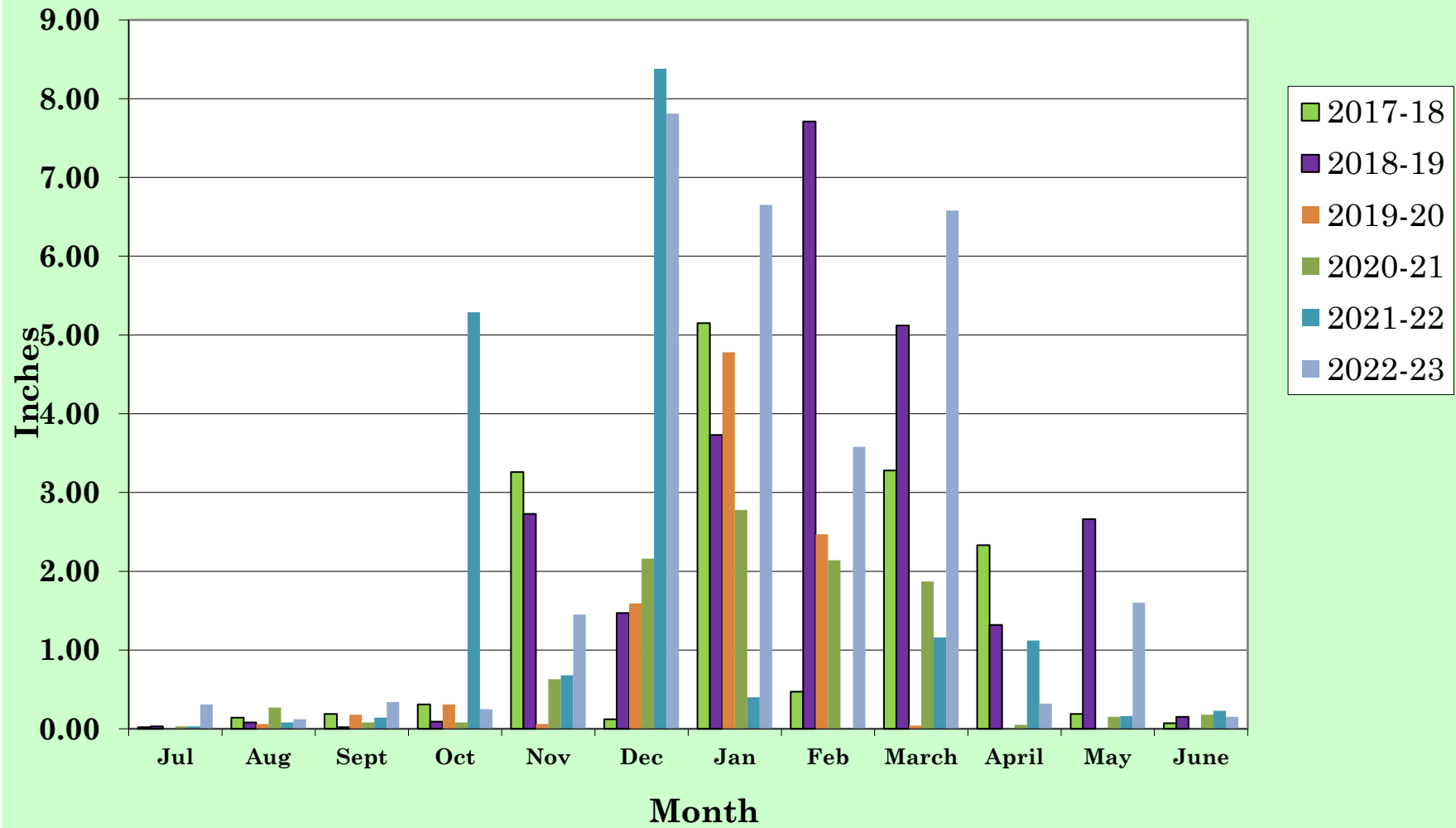
Nunes  
 Rainfall in Inches

	2022					2023						
	Jul	Aug	Sept	Oct	Nov	Dec	Jan	Feb	March	April	May	June
1	0.02	0.01	0	0.01	0.34	0.61	0.13	0	0.01	0.01	0.14	0
2	0.05	0	0	0	0.02	0	0.53	0	0	0	0.4	0
3	0.02	0	0	0	0	0.63	0.03	0.67	0	0	0.73	0
4	0	0	0	0	0	0.24	0.48	0.47	0.11	0	0.01	0
5	0.02	0	0	0	0.2	0.08	0.77	0.27	0.22	0	0.01	0
6	0.04	0	0	0.01	0.06	0.1	0.41	0	0.25	0	0.16	0.01
7	0.01	0	0	0.01	0.07	0	0.17	0	0.01	0.15	0	0
8	0	0	0	0.01	0.72	0.03	0.26	0	0.12	0	0.01	0
9	0	0	0	0.02	0.04	0	0.19	0	0.66	0	0.02	0
10	0.01	0	0	0	0	0.77	0.24	0.02	0.24	0.02	0	0
11	0	0	0	0.01	0	0.46	0.22	0.14	0.03	0.06	0	0.01
12	0.01	0	0	0	0	0	0	0	1.21	0	0	0.01
13	0	0	0	0	0	0	0.97	0	0.07	0	0	0
14	0	0	0	0.01	0	0	1.02	0	0.47	0	0	0.01
15	0	0	0	0	0	0	0.76	0	0	0	0	0
16	0.01	0	0	0	0	0	0.41	0	0	0	0	0
17	0	0.01	0	0	0	0	0	0	0	0.05	0	0
18	0	0	0.12	0	0	0	0.06	0	0.07	0	0	0
19	0	0.01	0	0	0	0	0	0	0.54	0	0	0
20	0	0	0	0	0	0	0	0	0	0	0.06	0
21	0	0	0.2	0	0	0	0	0	1.64	0	0.03	0
22	0	0	0	0.16	0	0	0	0	0.31	0	0	0.01
23	0	0.02	0	0	0	0	0	0.39	0.12	0.01	0	0
24	0.01	0.02	0	0	0	0	0	0.35	0	0	0	0
25	0.01	0.02	0	0	0	0	0	0	0	0	0	0.01
26	0	0.01	0	0	0	0.24	0	0.35	0	0	0.01	0.03
27	0.01	0.02	0	0	0	1.15	0	0.45	0	0	0.02	0.03
28	0.02	0	0	0	0	0.03	0	0.47	0.27	0.01	0	0.02
29	0.03	0	0	0	0	0.38	0		0.22	0.01	0	0.01
30	0.03	0	0	0.01	0	0.26	0		0.01	0	0	0
31	0.01	0		0		2.83	0		0		0	
Mon. Total	0.31	0.12	0.34	0.25	1.45	7.81	6.65	3.58	6.58	0.32	1.60	0.15
Year Total	0.31	0.43	0.77	1.02	2.47	10.28	16.93	20.51	27.09	27.41	29.01	29.16

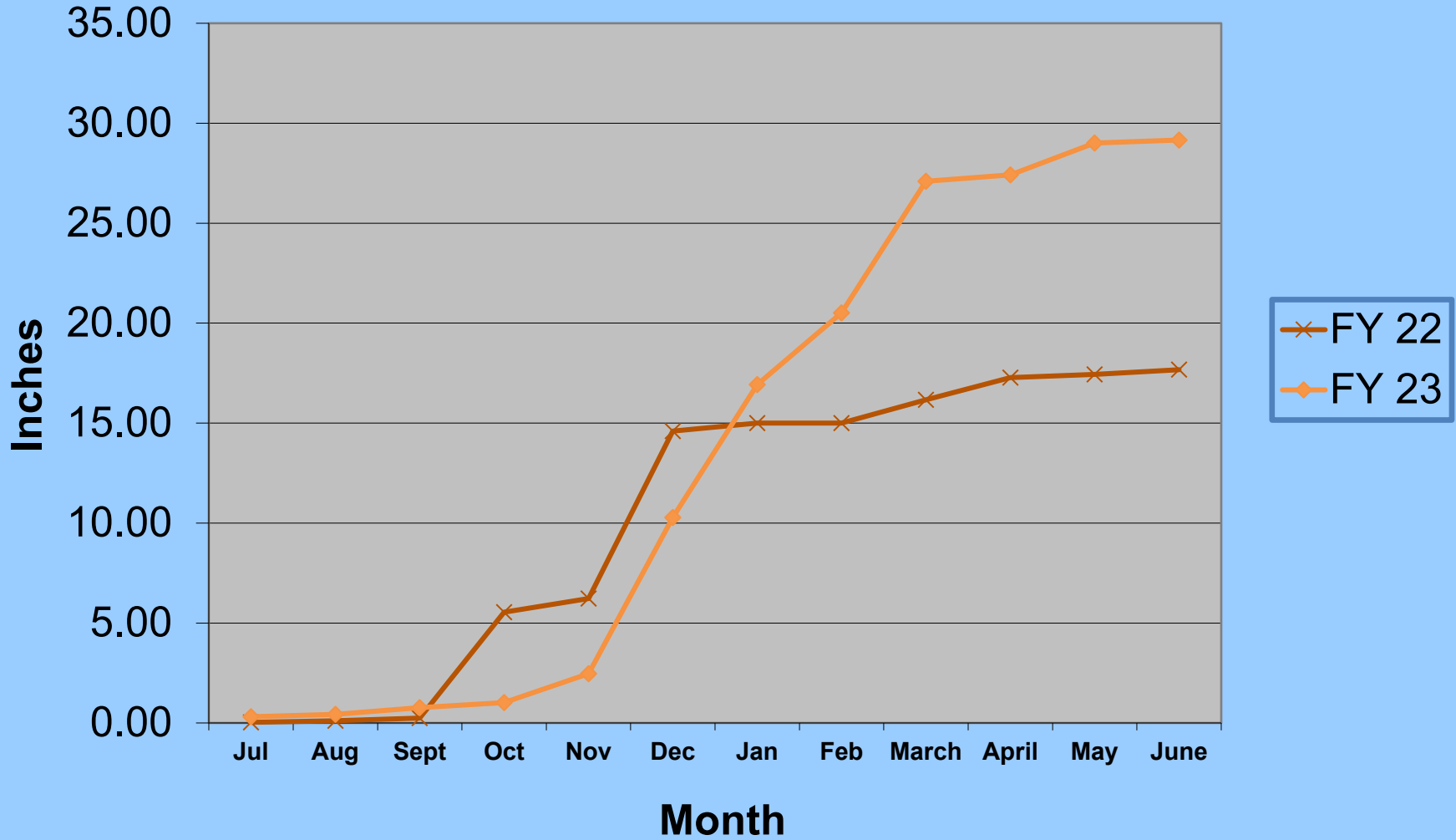
# Coastside County Water District

## Rainfall by Month

Fiscal Years 18 - 23

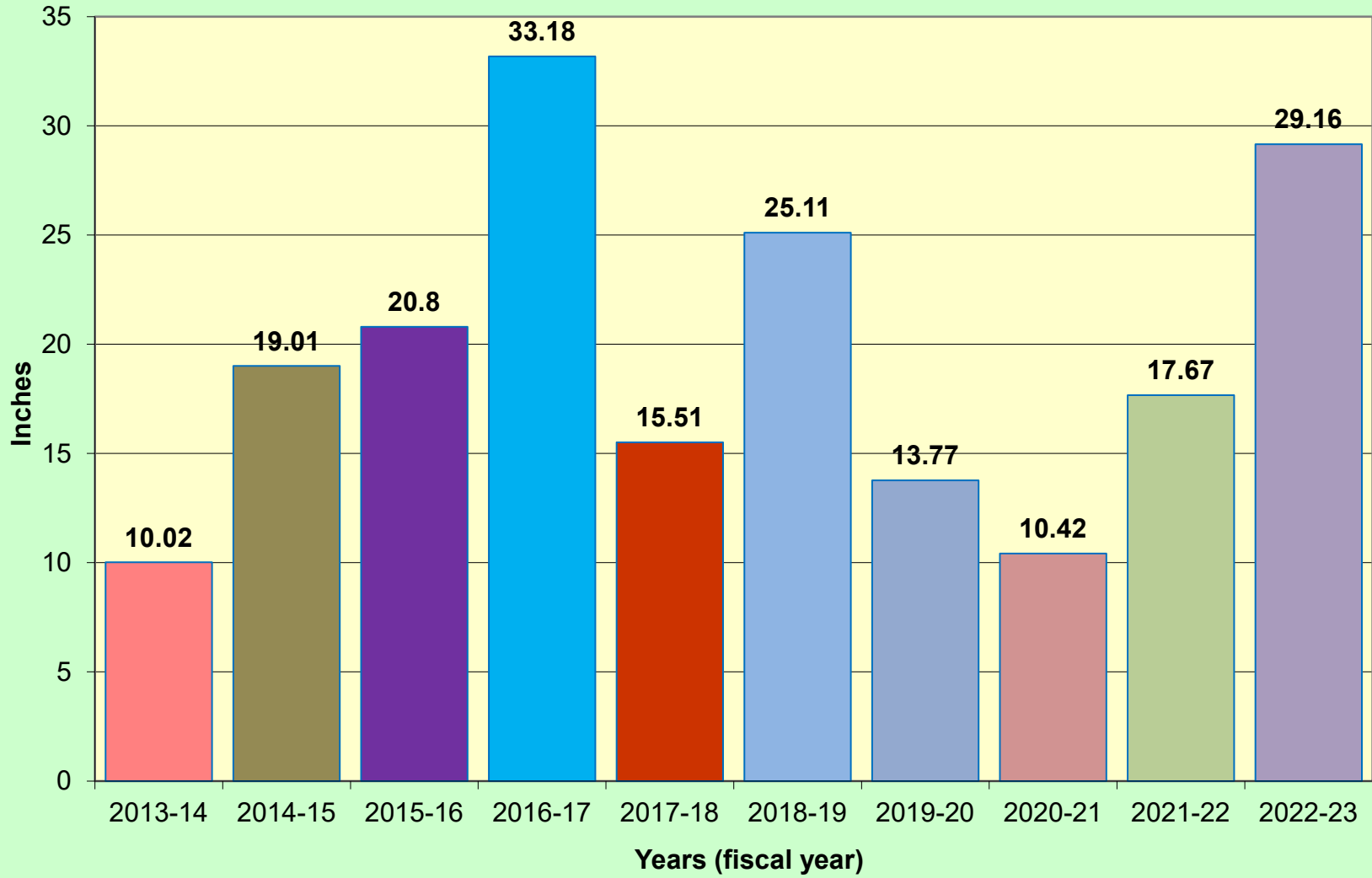


# Rainfall Total Comparison Fiscal Years 22-23



# Rain Totals

## Fiscal Years 14 - 23



**STAFF REPORT**

**To:** Coastside County Water District Board of Directors

**From:** Mary Rogren, General Manager

**Agenda:** July 11, 2023

**Date:** July 5, 2023

**Agenda/Title:** Approval of Water Service Agreement - HMB Coast LLC /  
Creekside Court Subdivision

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**Recommendation/Motion:**

**Approve the attached Water Service Agreement between the Coastside County Water District and HMB Coast LLC for construction of a pipeline extension along Creekside Court in Half Moon Bay.**

**Background:**

The attached Water Service Agreement provides for construction of the water utility system that will serve the thirteen (13) newly created parcels along Creekside Court (also known as the Creekside Court Subdivision Project). The Project consists of approximately 625 linear feet of 6" diameter pipeline and will serve eleven (11) single family residences, one (1) four-plex apartment building, one (1) sanitary sewage lift station and common area. HMB Coast LLC will construct the water system and turn ownership over to the District on its completion, along with all required easements.

**Fiscal Impact:**

None. All costs for engineering review, construction inspection, meter installation, administrative support, and other District activities associated with providing water service for the subdivision are paid by the applicant.





## WATER SERVICE AGREEMENT

### HMB COAST LLC / CREEKSIDE COURT SUBDIVISION PIPELINE EXTENSION PROJECT

THIS AGREEMENT is made as of this \_\_\_\_ day of \_\_\_\_\_, 2023, between COASTSIDE COUNTY WATER DISTRICT ("District"), and HMB COAST LLC ("Applicant").

THE PARTIES AGREE AS FOLLOWS:

#### 1. RECITALS

This Agreement is entered into with regard to the following facts and circumstances.

A. District is a public corporation organized under the provisions of the California Water Code and is engaged in the storage, transmission and sale of water for domestic purposes within San Mateo County.

B. Applicant is the owner engaged in the development of real property located within the geographic limits of the District. Applicant is the owner of certain real property known as Assessor Parcel Number's (APN) 056-150-270, 056-150-280, 056-150-290, 056-150-300, 056-150-310, 056-150-320, 056-150-330, 056-150-340, 056-150-350, 056-150-360, 056-150-370, 056-150-380 and 056-150-998 (known as Parcel A), in the City of Half Moon Bay, State of California (collectively, the "Property"), which is shown on Exhibit A, and is known as Creekside Court.

C. Applicant has obtained approval from the City of Half Moon Bay and the California Coastal Commission for and proposes to construct on the properties; eleven single-family residences, one four-plex apartment building, one sanitary sewage lift station and common area, the general layout of which is as shown on Exhibit B (the "Project").

D. Applicant has purchased, and/or has the right to install thirteen (13) five eighth inch (5/8") non priority water connections assigned as follows: **056-150-280** (one uninstalled 5/8" non priority water connection), **056-150-290** (one uninstalled 5/8" non priority water connection), **056-150-300** (one uninstalled 5/8" non priority water connection), **056-150-310** (one uninstalled 5/8" non priority water connection), **056-150-320** (one uninstalled 5/8" non priority water connection), **056-150-330** (one uninstalled 5/8" non priority water connection),

**056-150-340** (one uninstalled 5/8" non priority water connection), **056-150-350** (one uninstalled 5/8" non priority water connection), **056-150-360** (one uninstalled 5/8" non priority water connection), **056-150-370** (one uninstalled 5/8" non priority water connection), **056-150-380** (one uninstalled 5/8" non priority water connection) and **056-150-998** (two uninstalled 5/8" non priority water connections and one installed (will be reassigned) water connection).

There are no water connections assigned to parcel **056-150-270** at this time.

E. Applicant has requested water infrastructure to serve thirteen lots with the installation of the following: (1) a six-inch pipeline extension of approximately six hundred and twenty-five (625) linear feet; (2) eleven, three quarter inch (3/4" service x 5/8" meter) domestic service connections for single family residences (SFR); (3) eleven, one-inch (1" service x 1" meter) fire service connections for SFRs; (4) one, one and one half-inch double service (1.5" service x 1.5" meter x 5/8" meter) to serve a 4 unit apartment complex domestic and irrigation and: (5) one, one-inch (1" service x 1" meter) service connection for fire (to serve 4 unit apartment complex); (6) one, one and one half inch double service (1.5") for Parcel A with a three quarter inch (3/4" service x 5/8" meter) service for the sewer Lift Station and one, one inch (1" service x 1" meter) service for irrigation ( 1.5" service x 1" meter x 5/8" meter) for Parcel A; and (7) one fire hydrant; and all related appurtenances (collectively, the "Project Utility System").

F. Applicant represents and warrants that Applicant has obtained any and all permits and approvals necessary to construct the Project Utility System on the Property, including a Coastal Development Permit.

## **2. APPROVAL OF PROJECT UTILITY SYSTEM**

The Project Utility System, as outlined above, shown on and described in the plans prepared by BKF Engineers, dated June 23, 2023 (and approved by EKI Environment & Water Inc. on June 28, 2023 (collectively, the "reviewed submittal documents") are approved. Copies of the reviewed submittal documents are incorporated herein by this reference as Exhibit C.

If any portion of the Project Utility System must be resized to meet the requirements of the District or any other agency in connection with the development and construction of the Project, the Applicant is solely responsible for all costs associated with the resizing of the Project Utility System. The Applicant also is responsible for notifying future property owners, if any, of the need to obtain water service connections with the appropriate capacity to serve the portion of the Project to be served by that water service connection. The District will not be responsible for any costs or expenses related to any potential resizing of the Project Utility System or obtaining appropriately sized water service connections for the Project.

"Project Utility System" means the water mains, service lines, fittings, valves and housing thereof, fire hydrant, manholes, and all appurtenances thereto, as depicted and described in the reviewed submittal documents. The Project Utility System does not include the water mains on the Applicant side of the meter or the backflow prevention devices, all of which will be owned and maintained by Applicant.

### **3. INSTALLATION**

A. Applicant shall commence installation of the Project Utility System no later than three (3) months, subject to extension for force majeure events not the fault of Applicant, after the date of this Agreement and shall complete its installation within twelve (12) months after the date of this Agreement. If installation is not commenced or completed by such dates, the District may terminate this Agreement, unless the delay is solely attributable to events, such as fire, flood or earthquake, which are beyond the control of, and not the fault of, Applicant.

B. Applicant shall install the Project Utility System in accordance with (1) the location and sizes shown on the reviewed submittal documents identified in Section 2; (2) the District's "Standard Specifications and Standard Drawings, May 2018," a copy of which has previously been furnished to Applicant; and (3) the further reasonable directions of the District Engineer.

### **4. SUBMITTAL OF PROPOSAL FOR REVIEW AND APPROVAL BY DISTRICT.**

Applicant is responsible for obtaining a proposal for construction of the Project from a licensed, qualified contractor to construct the Project ("Proposal"). The contractor shall possess a valid California Contractor's License (Class A or C34). The contractor shall have satisfactorily completed construction of a minimum of 5 similar pipeline projects, and shall, if requested,

submit a list of these projects together with the telephone number of the owner's representative who can be contacted regarding the work. Prior to commencement of construction, Applicant shall furnish a copy of the Proposal, along with evidence satisfactory to the District that the contractor possesses the necessary license and experience to construct the Project Utility System.

**5. INSPECTION; CONSTRUCTION**

A. Prior to commencing construction, Applicant shall furnish to the District Engineer, at Applicant's expense, a report by a competent soils engineer or soils laboratory indicating that the compaction of the fills within which said facilities are to be installed is at least equal to ninety-five percent (95%) compaction, as that phrase is defined in the latest edition of the Standard Specifications, State of California, Department of Transportation, or meets such other criteria as the District Engineer may prescribe.

B. Applicant shall notify District in writing at least ten (10) days in advance of the proposed starting date for construction and shall not commence construction unless the District Engineer or other authorized District inspector is at the site of the work when construction begins. District agrees to make the District Engineer or other authorized District inspector available to be on site, provided the ten (10) days advance notice is given by Applicant. If construction is not continuous, District shall be notified at least forty-eight (48) hours in advance of the resumption of construction. Any work performed without notice to District may be rejected by District on that ground alone. The District Engineer will observe and inspect facilities solely to protect the interests of the District and to determine whether the completed work is acceptable to District and can be incorporated into the District system. The District does not assume thereby any responsibility for the operations or safety practices of Applicant. Applicant is responsible for correct location of all facilities which it installs. The District Engineer will not inspect facilities installed "downstream" of the individual meter boxes.

C. Applicant shall permit District's employees and authorized representatives to inspect the Project Utility System, and the plans and materials therefore, at any reasonable time before, during, or after installation.

D. Applicant shall repair at its expense (or, at the option of District, shall reimburse District for the actual cost of repairs effected by it) any damage to District property

caused by Applicant, its agents, employees, or contractors in constructing the Project Utility System.

**6. PAYMENT OF FEES AND CHARGES**

The Applicant will pay applicable fees and charges as follows:

A. Transmission and Storage Fees. None Due at this time. Applicant has purchased or will purchase water service connections at a later time.

B. Water Meter and Water Meter Installation Fees. None Due. Applicant will be billed separately for actual cost of purchasing and installing the required meters at the time of plan review and meter installation for each parcel.

C. Initial Filing Fee. None due. The District acknowledges receipt of a non-refundable initial filing fee in the amount of \$250.

D. Plan Check and Construction Inspection Fees. Concurrent with the execution of this Agreement, the Applicant is required to deposit the sum of Twenty Thousand Dollars and No Cents (\$20,000.00), which is the cost estimate for the District staff and Engineer's costs in preparing and reviewing final plans, inspecting the construction of the Project Utility System, modifications of water system maps, and administrative, legal, and auditing costs. A final accounting will be performed prior to acceptance of the Project Utility System. Applicant shall pay additional fees if the deposit does not cover District costs for providing these services.

E. Total Payment Due with Agreement. The amount of twenty thousand dollars and no cents (\$20,000.00).

**7. BONDS**

Prior to commencement of construction, Applicant shall furnish to District the following bonds:

A. A Payment Bond in the amount of 100% of the Proposal amount, to guarantee payment of the obligations referred to in Section 3248 of the Civil Code;

B. A Performance Bond in the amount 100% of the Proposal amount, to guarantee faithful performance of the terms of this Agreement; and

C. A Maintenance Bond in the amount of 10% of the Proposal amount, to guarantee against defective materials and faulty workmanship for a period of two (2) years from and after the acceptance of the Project Utility System by District.

The bonds shall be in a form satisfactory to District. The surety or sureties must be qualified to do business in California. If any of the sureties, in the sole opinion of District, is or becomes irresponsible, District may require other or additional sureties which Applicant shall furnish to the satisfaction of District within ten (10) days after notice from District. In default thereof, District shall be released from all obligations under this Agreement. No prepayment or delay in payment and no change, extension, addition, or alteration or any provision of this Agreement or in the approved submittal documents referred to in Section 2, above, and no forbearance or acceptance by or on the part of District shall operate to release any surety from liability on a bond.

#### **8. INDEMNITY**

A. District shall not be responsible or held liable in any manner whatsoever for any injury or damage which may be done to any person or property (or other loss or liability) arising from the performance or failure to perform the obligations set forth in this Agreement and the installation of the Project Utility System by or on behalf of Applicant.

B. Applicant, on its behalf and on behalf of its successors in interest, hereby agrees to waive any claims against District arising from or related to the events and activities described in Subsection A, above, and to indemnify, defend and hold harmless the District, its directors, officers, employees, and agents from and against any and all liability for the death of or injury to any person and for the loss of, or damage to, any property (including the loss of its use) which may arise from such events and activities. The agreements contained in this paragraph shall survive the performance of the remainder of this Agreement and shall remain in full force and effect notwithstanding such performance.

#### **9. INSURANCE**

A. Applicant or its construction contractor shall, at its cost, maintain in full force and effect during the period beginning with commencement of construction of the Project Utility System and terminating no earlier than thirty (30) days after completion thereof and

approval by District for its connection with the District's distribution system, a policy or policies of liability insurance, as follows:

1. General Liability - Commercial General Liability (CGL) - Insurance Services Office (ISO) Commercial General Liability Coverage (Occurrence Form CG 00 01) including products and completed operations, property damage, bodily injury, personal and advertising injury with limit of at least five million dollars (\$5,000,000) per occurrence or the full per occurrence limits of the policies available, whichever is greater. If a general aggregate limit applies, either the general aggregate limit shall apply separately to this project/location (coverage as broad as the ISO CG 25 03, or ISO CG 25 04 endorsement provided to Coastside County Water District) or the general aggregate limit shall be twice the required occurrence limit.

2. Automobile Liability - Insurance Services Office (ISO) Business Auto Coverage (Form CA 00 01), covering Symbol 1 (any auto) with limit of one million dollars (\$1,000,000) for bodily injury and property damage each accident.

3. Such policies shall insure District as an additional insured against any and all liability for the death of or injury to any person and for the loss of or damage to any property which may arise by reason of acts done or omitted to be done as a result of the installation of the Project Utility System by or on behalf of Applicant and shall further insure District against any and all costs and expenses, including attorney's fees, which District may incur in resisting any claim which may be made against District for any such injury or damage.

B. Each such policy shall:

1. be issued by an insurance company or companies qualified to do business in California and approved in writing by District;

2. name District, its Directors, officers, agents and employees, as additional insureds;

3. specify that it acts as Primary Insurance; the insurer being liable thereunder for the full amount of any loss up to and including the total limit of liability without right of contribution from any insurance effected by District;



4. provide that the policy shall not be cancelled or altered without thirty (30) days' prior written notice to District (or Applicant shall provide this written notice to the District); and

5. Otherwise be in form reasonably satisfactory to District.

C. Workers' Compensation Insurance - The Contractor shall provide workers' compensation coverage as required by the State of California, with Statutory Limits, and Employer's Liability Insurance with limit of no less than \$1,000,000 per accident for bodily injury or disease. Waiver of Subrogation (also known as Transfer of Rights of Recovery Against Others to Us): The Contractor hereby agrees to waive rights of subrogation to obtain endorsement necessary to affect this waiver of subrogation in favor of the Coastside County Water District, its directors, officers, employees, and authorized volunteers, for losses paid under the terms of this coverage which arise from work performed by the Named Insured for the Coastside County Water District; this provision applies regardless of whether or not the Coastside County Water District has received a waiver of subrogation from the insurer.

D. Copies of all policies required above (or Certificates of Insurance satisfactory to District) shall be delivered to District at least ten (10) days prior to commencement of construction of the Project Utility System.

## **10. CONVEYANCE OF TITLE TO PROJECT UTILITY SYSTEM**

Full right, title and interest in and to all elements of the Project Utility System installed pursuant hereto will be granted to District upon written notice of acceptance thereof by District and without the necessity for any further action by Applicant. There shall be no obligation upon District to pay or reimburse the Applicant any part of the cost of Project Utility System. Applicant warrants that upon such passage of title to District, the title shall be free and clear from any and all mechanics and materialmen liens that could arise from construction of the Project Utility System, charges and encumbrances whatsoever. The water meters described in Section 2, above, are and will remain the property of District.

**11. CONVEYANCE OF EASEMENTS**

Applicant further agrees that it will, prior to acceptance of the Project Utility System, deliver to District easements necessary for access to and maintenance of the Project Utility System by executing, or arranging for the execution, of Grants of Easement in form and substance satisfactory to District and substantially in the form attached hereto as Exhibit D.

**12. ACCEPTANCE BY DISTRICT**

District shall accept the Project Utility System when all of the following conditions have been met: (1) completion of the Project Utility System; (2) certification by Superintendent and or Superintendent of Operations upon completion that the Project Utility System has been constructed in accordance with this Agreement; (3) furnishing by Applicant of evidence that it has paid all costs incurred in constructing the Project Utility System; (4) performance by Applicant of all of its obligations under this Agreement which are to be completed prior to acceptance of the Project Utility System, including payment of all sums due the District and conveyance of all easements; and (5) furnishing by Applicant one electronic set of drawings of the completed improvements showing "as-built" conditions.

Upon acceptance, and payment for the cost of meter installation, District shall provide water utility service to the Project.

Upon acceptance, Applicant shall be relieved of all future obligations to maintain the Project Utility System, subject to its obligation to repair defects, which obligation is secured by the maintenance bond provided for in Section 7.C., for the duration of the term of such bond (i.e., two years after acceptance).

**13. EXECUTION AND PERFORMANCE OF AGREEMENT**

Execution of this Agreement is a condition precedent to issuance by District of any letters, approvals, consents, or communications to any state, municipal, local or other public bodies regarding the availability of water service to the Property from the Project. Full performance of and compliance with each and every term of this Agreement by Applicant is a condition precedent to water service by District.

**14. DISTRICT REGULATIONS**

Applicant shall at all times abide by and faithfully observe any and all District ordinances, resolutions, rules and regulations presently in effect, including current fee schedules, or which may hereafter be enacted or amended from time to time, including but not limited to *Regulations Regarding Water Service Extensions and Water System Improvements; Engineering and Construction Standards; Approved Materials* (codified through Resolution No. 2003-11, March 2004), a copy of which has previously been furnished to Applicant.

**15. ASSIGNMENT**

Applicant's rights under this Agreement may be assigned only in connection with a sale or conveyance of the Property. No such assignment shall be valid or binding on the District unless the assignee executes a written instrument, in form and substance satisfactory to District, assuming all of Applicant's obligations under this Agreement, which have not been fully performed as of the date of assignment. Such assignment shall not release Applicant from any of its obligations to District under this Agreement.

This Agreement shall be binding upon and shall inure to the benefit of the parties and their successors and permitted assigns. If the Applicant or a permitted successor or assign shall disincorporate, forfeit its articles or right of incorporation, or otherwise fully terminate without a successor or assign, District shall as of the date of disincorporation, forfeiture or termination own the Project Utility System free and clear of any obligation to any party.

**16. NOTICE**

Any notice required by this Agreement shall be satisfied by a notice in writing, either delivered personally or sent by regular or certified mail, postage prepaid, and addressed as follows:

District:           Attention: Mary Rogren, General Manager  
Coastside County Water District  
766 Main Street  
Half Moon Bay, CA 94019

Applicant:        Attention: Gabe Gonzalez  
HMB Coast LLC  
20 South Linden, Suite 2B  
South San Francisco, CA 94080

**17. CONSTRUCTION OF AGREEMENT**

Both parties have participated in preparing this Agreement. This Agreement shall be construed reasonably and not in favor of or against either party hereto on the grounds that one party prepared the Agreement.

**18. ENTIRE AGREEMENT**

This Agreement, including the Exhibits which are hereby incorporated by reference, contains the entire agreement between the parties hereto. No oral understandings, statements, promises or inducements contrary to the terms of this Agreement exist.

**19. APPLICABLE LAW**

This Agreement shall be governed by and construed and enforced in accordance with and subject to the laws of the State of California. Except as expressly provided for herein, this Agreement is not intended to, and does not, modify the District's rights to exercise the legislative discretion accorded to it by the laws of California. Any lawsuit related to this Agreement shall be commenced and prosecuted in the County of San Mateo, State of California.

**20. AMENDMENT**

Any amendment hereof, including any oral modification allegedly supported by new consideration, shall not be effective unless reduced to a writing signed by both parties.

**21. AUTHORIZED SIGNATURE**

The individuals whose names are subscribed to this Agreement represent that they are authorized to act on behalf of the party for whom they sign.

**22. TIME**

Time is of the essence of the Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day and year first above written.

**DISTRICT:  
COASTSIDE COUNTY WATER DISTRICT**

**APPLICANT:  
HMB Coast LLC**

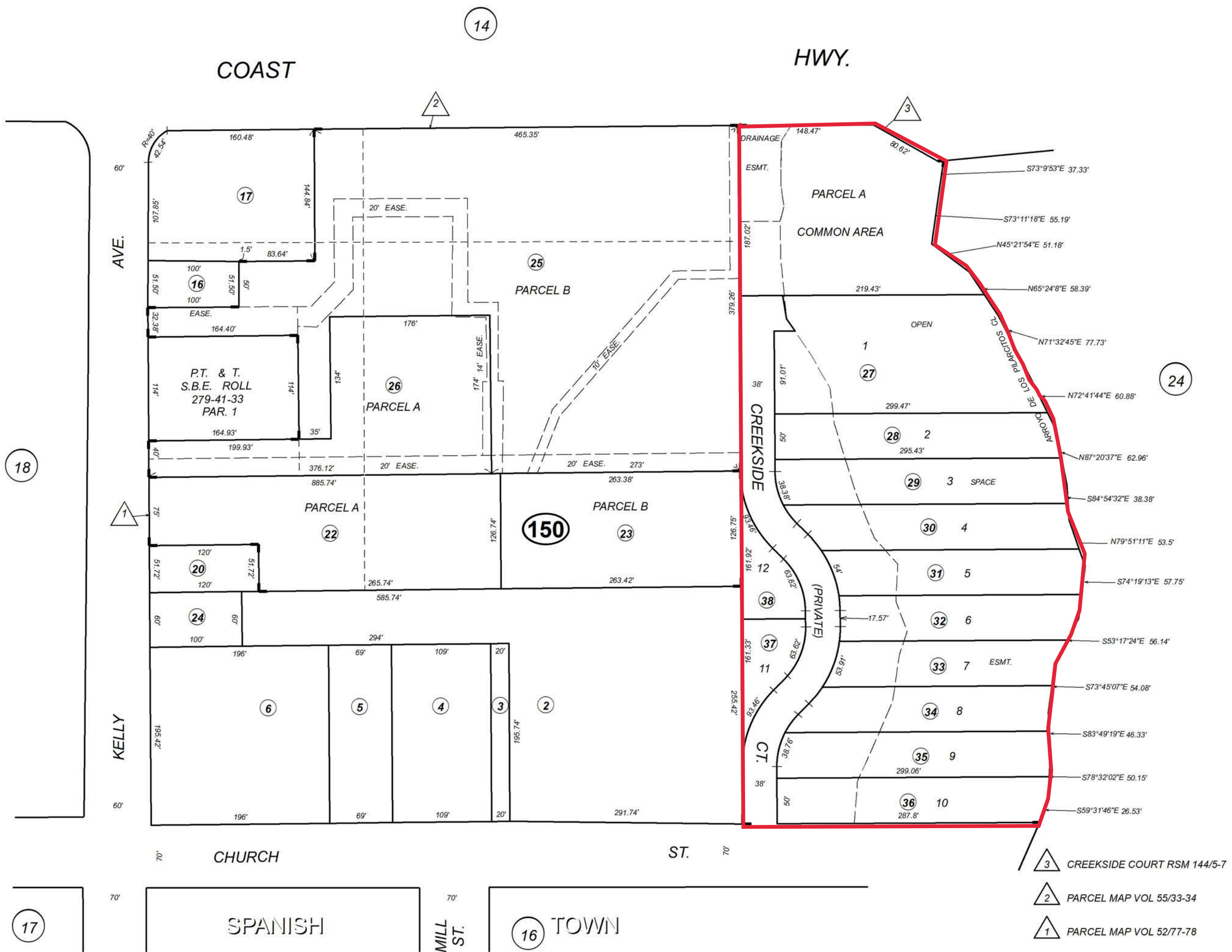
By: \_\_\_\_\_  
John Muller, President,  
Board of Directors

By: \_\_\_\_\_  
Gabe Gonzalez, Owner

By: \_\_\_\_\_  
Mary Rogren, Secretary

EXHIBIT A

Real Property



18

24

17

16 TOWN

- CREEKSIDE COURT RSM 144/5-7
- PARCEL MAP VOL 55/33-34
- PARCEL MAP VOL 52/77-78

EXHIBIT B

Project Final Map



**NOTES REGARDING THIS AMENDED MAP**

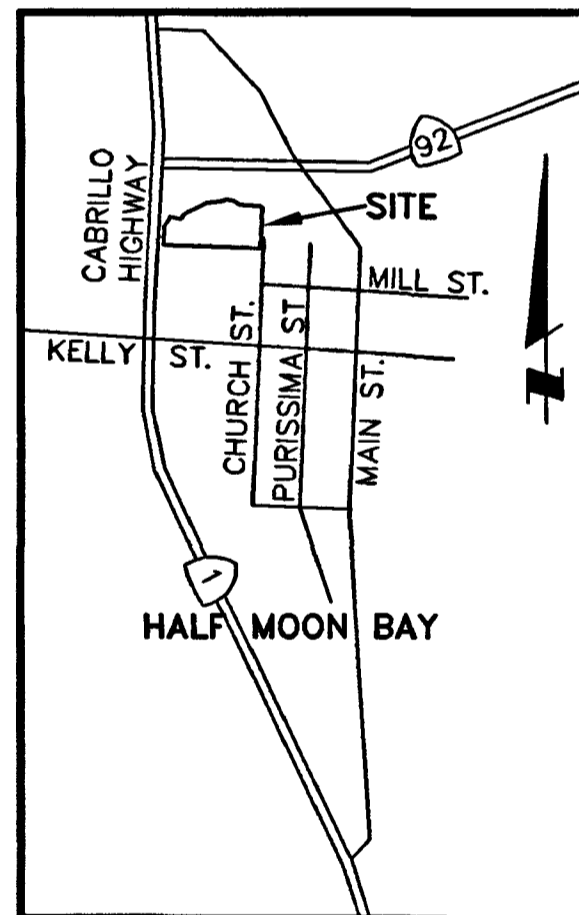
BY THE RECORDATION OF THIS MAP THE FOLLOWING ARE AMENDMENTS TO FINAL MAP 16-02, WHICH WAS FILED FOR RECORD ON DECEMBER 21, 2021, FILE NO. 2021-900225, IN VOLUME 144 OF MAPS, PAGES 5-7:

THE EASEMENT DEDICATIONS IN THE OWNERS STATEMENT ARE MODIFIED TO THE FOLLOWING:

- "CREEKSIDE COURT," A PRIVATE STREET, IS RESERVED FOR THE PURPOSES OF INGRESS/EGRESS, PUBLIC UTILITY, AND EMERGENCY VEHICLE ACCESS EASEMENTS.
- THE "3' UTILITY EASEMENT" FOR IRRIGATION PURPOSES HAS CHANGED TO A "PUBLIC UTILITY AND PEDESTRIAN ACCESS EASEMENT."
- THE GEOMETRY OF THE FORMER "3' UTILITY EASEMENT" HAS BEEN CHANGED IN TWO AREAS TO INCLUDE "BUMP OUTS" AS SHOWN ON THE FOLLOWING SHEETS.
- THE 14.5X10' P.U.E. WITHIN LOT 1 HAS BEEN REMOVED
- A 10X18' P.U.E. HAS BEEN CREATED IN THE PARK AREA, AS SHOWN ON SHEET 2 OF 3 HEREIN.
- A 5X7' P.U.E. HAS BEEN CREATED IN LOT 2, AS SHOWN ON SHEET 2 OF 3 HEREIN.

THE "NOTES" PORTION OF SHEET 1 OF 3, WAS MODIFIED TO ADD THE INSTRUMENT NUMBER OF THE AFFORDABLE HOUSING RESTRICTION.

FEE OWNER: HMB COAST LLC, A LIMITED LIABILITY COMPANY



VICINITY MAP  
(NOT TO SCALE)

**CITY CLERK'S STATEMENT**

I, JESSICA BLAIR, INTERIM CITY CLERK OF THE CITY OF HALF MOON BAY, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT THE CITY COUNCIL OF SAID CITY, ACTING AT ITS REGULAR MEETING HELD ON THE 15<sup>TH</sup> DAY OF MAY, 2023, AND THAT SAID COUNCIL ACCEPTED, SUBJECT TO IMPROVEMENTS, ON BEHALF OF THE PUBLIC, ALL PUBLIC EASEMENTS OFFERED FOR DEDICATION, IN CONFORMITY WITH THE TERMS OF THE OFFER OF DEDICATION.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED THE OFFICIAL SEAL OF SAID CITY THIS 15<sup>TH</sup> DAY OF MAY, 2023.

*Jessica Blair*  
JESSICA BLAIR  
CITY CLERK

**NOTES:**

AN IRREVOCABLE OFFER TO DEDICATE THOSE AREAS LABELED AS OPEN SPACE, BEING THE AREA NORTHERLY OF THE 50' RIPARIAN SETBACK LINE, ACCEPTABLE TO THE EXECUTIVE DIRECTOR OF THE COASTAL COMMISSION, INCLUDING THE CITY OF HALF MOON BAY, FOR OPEN SPACE CONSERVATION AND FOR THE PURPOSES OF HABITAT RESTORATION, RECORDED AS INSTRUMENT NO. 2016-0409010.

SUBJECT PROPERTY SUBJECT TO DEED RESTRICTIONS PER DOCUMENTS 2016-040908 AND 2016-040909 O.R.

SUBJECT PROPERTY SUBJECT TO MITIGATION AND MONITORING PER DOCUMENT 2016-111462 O.R.

SUBJECT PROPERTY SUBJECT TO TRAFFIC RESTRICTION OVER THE SIDELINES TO HIGHWAY 1 AS SHOWN ON SHEETS 2 AND 3 OF THIS FINAL MAP.

AN AFFORDABLE HOUSING RESTRICTION OVER LOT 1 PER INSTRUMENT NO. 2021-154699.

A WAIVER OF CLAIMS FOR FREEWAY PER BOOK 2563 O.R. PAGE 573.

**COUNTY RECORDER'S STATEMENT**

FILED THIS 22<sup>ND</sup> DAY OF MAY, 2023 AT 1:11 P. M. IN VOLUME 144 OF MAPS, AT PAGE(S) 68-70, AT THE REQUEST OF BRYAN G. TAYLOR.

MARK CHURCH, SAN MATEO COUNTY RECORDER

FILE NO. 2023-900091

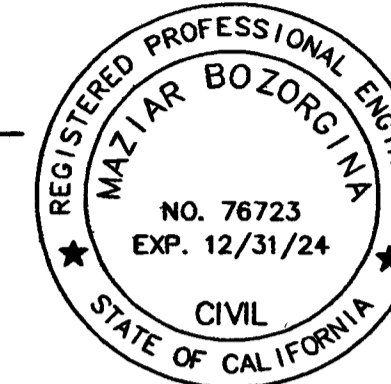
BY: *Helen M. Hernandez*  
DEPUTY

FEE \$98.00

**CITY ENGINEER'S STATEMENT**

I HEREBY STATE THAT I HAVE EXAMINED THIS FINAL MAP AND THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL THE PROVISIONS OF THE CALIFORNIA "SUBDIVISION MAP ACT" AND OF THE LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH.

5-15-2023  
DATE



*Maziar Bozorginia*  
MAZIAR BOZORGINIA P.E.  
RCE 76723  
CITY ENGINEER

**ACTING CITY SURVEYOR'S STATEMENT**

I HEREBY STATE THAT I HAVE EXAMINED THIS FINAL MAP AND AM SATISFIED THAT IT IS TECHNICALLY CORRECT.

6-10-23  
DATE

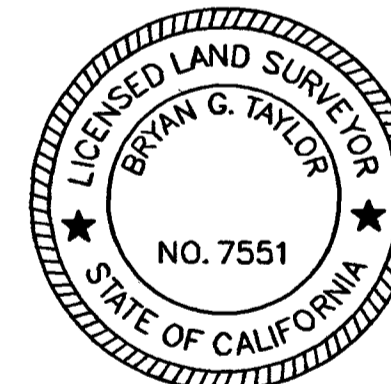


*David C. Freyer*  
DAVID C. FREYER  
R.C.E. 30060  
ACTING CITY SURVEYOR

**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES AT THE REQUEST OF EDGAR ALCALA IN NOVEMBER, 2022. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, AND THAT ALL THE MONUMENTS SHOWN HEREON ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

03-MAY-2023  
DATE



*Bryan G. Taylor*  
BRYAN G. TAYLOR, L.S. #7551

**AMENDED MAP OF  
CREEKSIDE COURT  
FINAL MAP NO. 16-02**

BEING A SUBDIVISION OF  
THE LANDS OF HMB COAST LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY  
PER DOC. NO. 2022-032317 O.R.  
CONSISTING OF THREE (3) SHEETS

HALF MOON BAY SAN MATEO COUNTY CALIFORNIA  
SCALE: NONE SHEET 1 OF 3 APRIL, 2023



#	BEARING	LENGTH
L1	N 36°31'32" W	16.86'
L2	N 81°31'32" W	17.57'
L3	S 53°28'28" W	16.86'
L4	N 08°31'00" E	19.00'
L5	N 81°31'32" E	8.99'
L6	S 81°31'32" E	8.58'

SIMPSON  
2014-119710 O.R.

LANDS OF MINAIDIS  
2010-163322 O.R.



**LEGEND/REFERENCES:**

- ROW RIGHT OF WAY
- GSF GROSS SQUARE FEET
- NSF NET SQUARE FEET EXCLUDING ROAD AND RIPARIAN AREA
- P.U.E. PUBLIC UTILITY EASEMENT
- (T) TOTAL
- (1) VOLUME 13 LLS 144
- (2) VOLUME 52 PM 77-78
- (3) VOLUME 12 LLS 41
- (4) VOLUME 27 LLS 62
- (5) CALTRANS RIGHT OF WAY MAP R-62.17
- (6) VOLUME 17 LLS 17
- (7) CORNER RECORD #1355
- [ ] SUBJECT DEED

- SUBJECT PROPERTY
- - - LOT LINES
- - - RIPARIAN SETBACK LINE
- - - EASEMENT LINE
- - - CREEKSIDE COURT RIGHT OF WAY
- - - HIGH WATER LINE

PUBLIC ACCESS EASEMENT  
[SEE DETAIL ON SHEET 3 OF 3]

3' PUBLIC UTILITY AND PEDESTRIAN ACCESS EASEMENT

FOUND NAIL AS PER (1)  
BLOCK 20  
1 MAPS 60

FOUND 1" IP WITH NAIL ACCEPTED AS IP FOUND PER (2)(3)

**BASIS OF BEARINGS:**

THE BEARING, NORTH 08°31'00" EAST, OF CHURCH STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP BY JOSEPH R. BENNIE, WHICH WAS FILED FOR RECORD IN VOLUME 52 OF PARCEL MAPS PAGES 77-78, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**AMENDED MAP OF CREEKSIDE COURT FINAL MAP NO. 16-02**

BEING A SUBDIVISION OF THE LANDS OF HMB COAST LLC A CALIFORNIA LIMITED LIABILITY COMPANY PER DOC. NO. 2022-032317 O.R. CONSISTING OF THREE (3) SHEETS

HALF MOON BAY SAN MATEO COUNTY CALIFORNIA SCALE: 1" = 50' SHEET 2 OF 3 APRIL, 2023



**BGT LAND SURVEYING**  
(650) 212-1030

FOUND NAIL AND BRASS TAG 'LS 3544' PER (2) 0.16' ELY OF CHURCH C/L  
FOUND NAIL DOWN 0.2' IN ASPHALT, PER (2)

KELLY ST.  
MIRAMONTES ST.

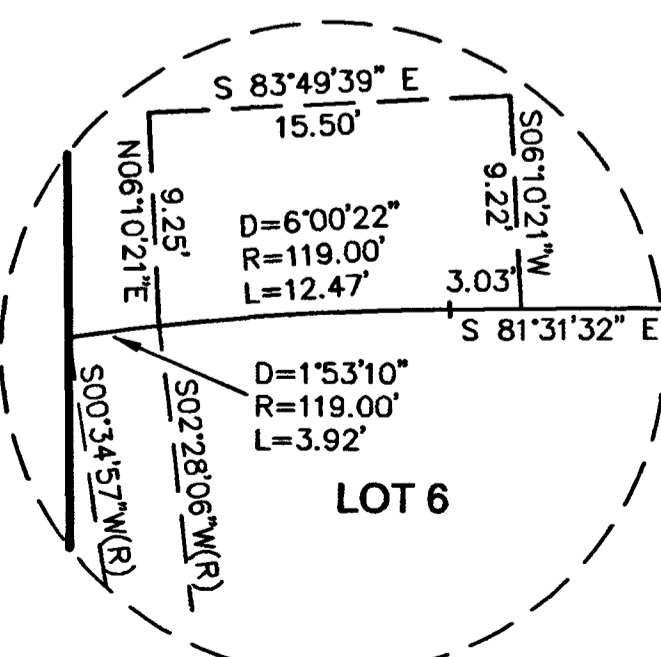
CABRILLO HIGHWAY  
[WIDTH VARIES]

#	DELTA	RADIUS	LENGTH
C1	D=45°00'00"	R=100.00'	L=78.54'
C2	D=45°00'00"	R=100.00'	L=78.54'
C3	D=45°00'00"	R=100.00'	L=78.54'
C4	D=45°00'00"	R=100.00'	L=78.54'
C5	D=21°54'36"	R=100.00'	L=38.24'
C6	D=23°05'24"	R=100.00'	L=40.30'
C7	D=3°39'26"	R=100.00'	L=6.38'
C8	D=32°05'35"	R=100.00'	L=56.01'
C9	D=9°14'58"	R=100.00'	L=16.14'
C10	D=9°24'44"	R=100.00'	L=16.43'
C11	D=32°10'17"	R=100.00'	L=56.15'
C12	D=3°24'58"	R=100.00'	L=5.96'
C13	D=23°19'10"	R=100.00'	L=40.70'
C14	D=21°40'50"	R=100.00'	L=37.84'
C15	D=2°49'47"	R=81.00'	L=4.00'
C16	D=17°32'04"	R=119.00'	L=36.42'
C17	D=17°49'03"	R=119.00'	L=37.01'

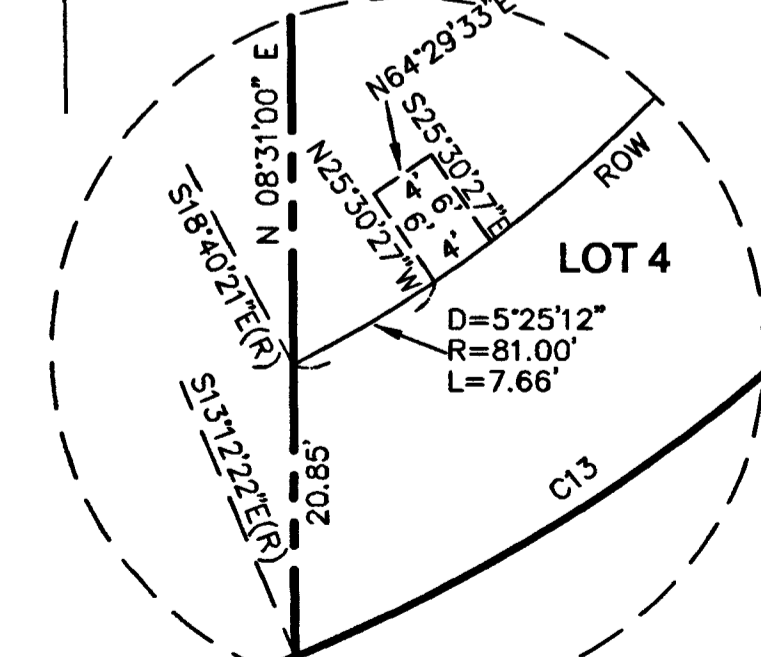
CREEKSIDE COURT [38' WIDE]  
PRIVATE ROAD, PUBLIC UTILITY AND EMERGENCY VEHICLE ACCESS EASEMENT - 35,442 S.F.

PARCEL B  
55 PM 34

PARCEL B  
52 PM 77-78



PUBLIC UTILITY EASEMENT  
[NOT TO SCALE]



4"x6" PUBLIC UTILITY EASEMENT  
[NOT TO SCALE]

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK 'LS 3453' (3)  
FOUND 3/4" IP WITH PLASTIC PLUG AND TACK 'LS 3581' (4)

EMERGENCY VEHICLE ACCESS EASEMENT PER DOC. NO. 2021-086869

FOUND 3/4" OPEN IP IN CONCRETE PER (2)(7)

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK 'LS 5304' PER (7)

SEE SHEET 3 OF 3 FOR DETAILS OF THESE TWO "BUMP OUT" PORTIONS OF EASEMENT

LANDS OF ROMAN CATHOLIC ARCHDIOCESE OF SAN FRANCISCO  
[76 DEEDS 431 AND 81 DEEDS 320]

SEE SHEET 3 FOR RIGHT OF WAY COURSES NET LOT AREA DIMENSIONS AND MONUMENTS SET

FOUND 3/4" IP WITH PLASTIC PLUG, NO TACK 'RE 6145' IN CONCRETE PER (2)(7)

126.75' PUBLIC UTILITY AND PEDESTRIAN ACCESS EASEMENT

3' PUBLIC UTILITY AND PEDESTRIAN ACCESS EASEMENT 130.00'

PARK AREA 3,792 S.F. 81.48'

DRAINAGE EASEMENT 5,073 S.F.

10' TRAIL EASEMENT

100-YEAR FLOODPLAIN HIGH WATER LINE PER HYDROLOGY STUDY

PARCEL A COMMON AREA 40,895 S.F. GROSS 32,030 S.F. NET

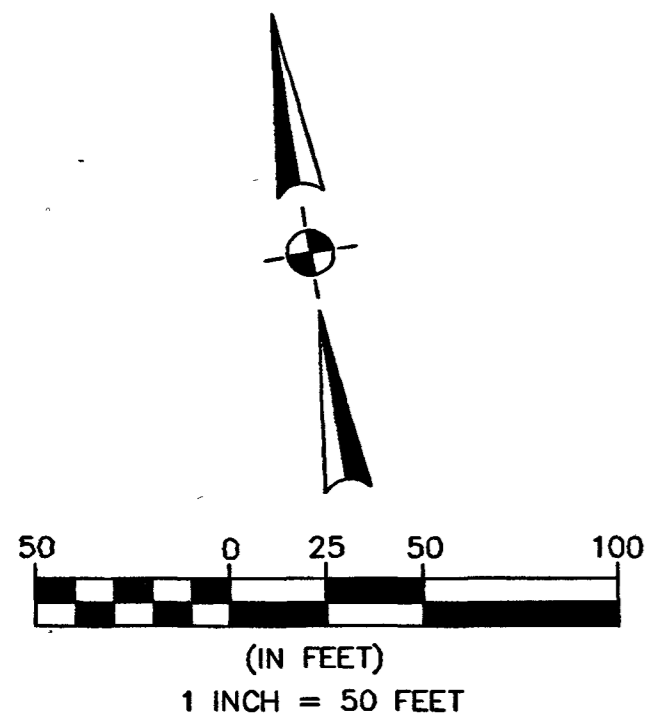
OPEN SPACE DEDICATION [SEE NOTE, SHEET 1]

50' RIPARIAN SETBACK (OFFSET FROM EDGE OF VEGETATION)

CENTERLINE OF EXISTING CREEK (SUBJECT TO CHANGE THROUGH NATURAL CAUSES)

FOUND 6"x6" CALTRANS CONCRETE MONUMENT PER (3)(4)(5)

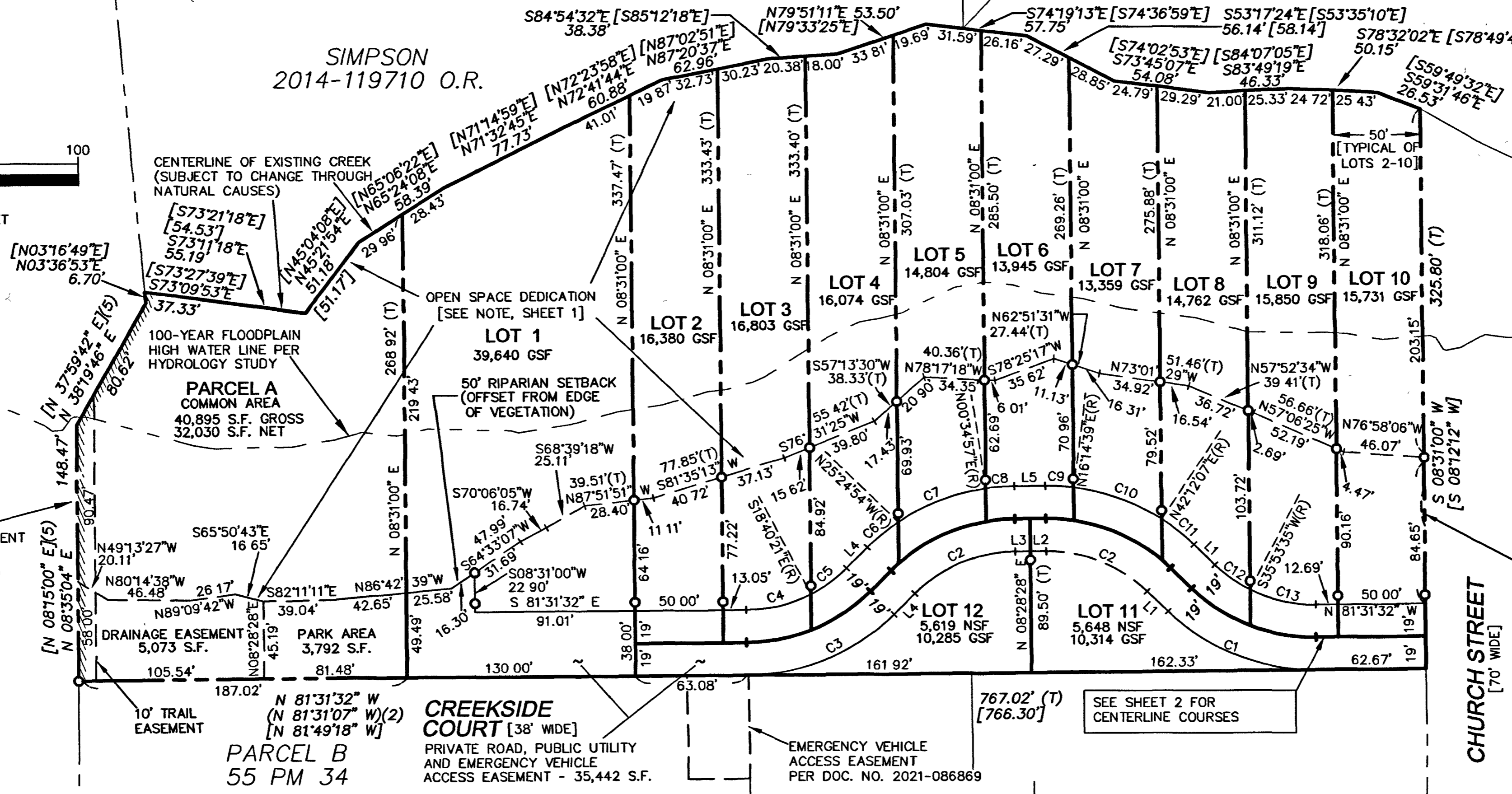
HATCHED AREA = TRAFFIC RESTRICTION OVER SIDELINES ADJACENT TO HIGHWAY 1 [SEE NOTE - SHEET 1]



OWENS MORTGAGE  
2014-119709 O.R.

LANDS OF MINAIDIS  
2010-163322 O.R.

SIMPSON  
2014-119710 O.R.



- LEGEND/REFERENCES:**
- SET 1" IRON PIPE WITH PLASTIC PLUG AND TACK "LS 7551" (PIPES SET NEAR RIGHT OF WAY LINES ARE 5' FROM LOT INTERSECTIONS WITH RIGHT OF WAY)
  - GSF GROSS SQUARE FEET
  - (T) TOTAL
  - (1) VOLUME 13 LLS 144
  - (2) VOLUME 52 PM 77-78
  - (3) VOLUME 12 LLS 41
  - (4) VOLUME 27 LLS 62
  - (5) CALTRANS RIGHT OF WAY MAP R-62.17
  - (6) VOLUME 17 LLS 17
  - (7) CORNER RECORD #1355
  - [ ] SUBJECT DEED

- SUBJECT PROPERTY
- - - LOT LINES
- - - RIPARIAN SETBACK LINE
- - - EASEMENT LINE
- - - CREEKSIDE COURT RIGHT OF WA
- - - HIGH WATER LINE

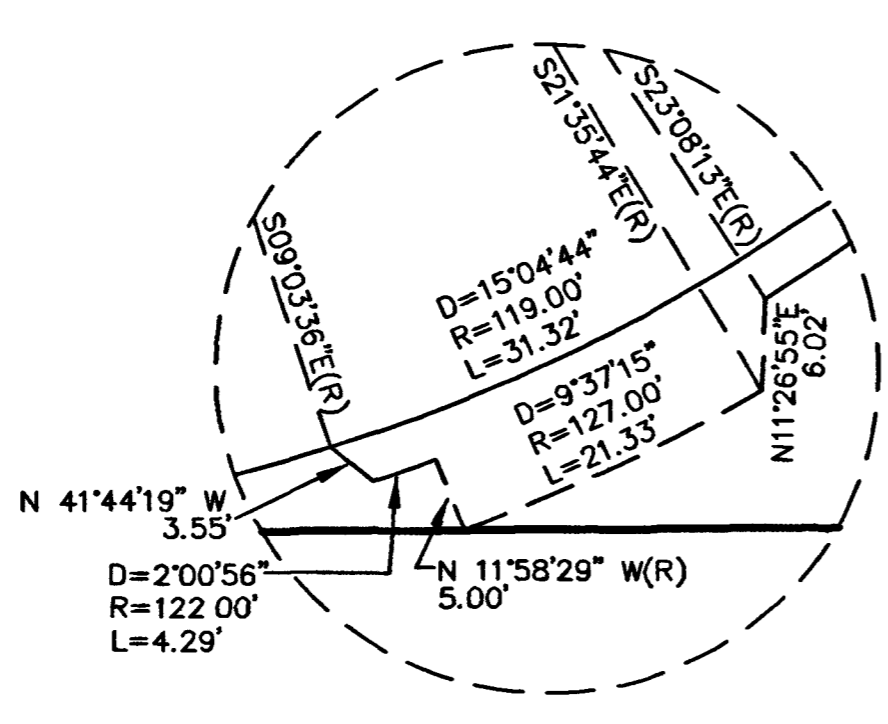
PUBLIC ACCESS  
EASEMENT  
[SEE DETAIL BELOW]

BLOCK 20  
1 MAPS 60

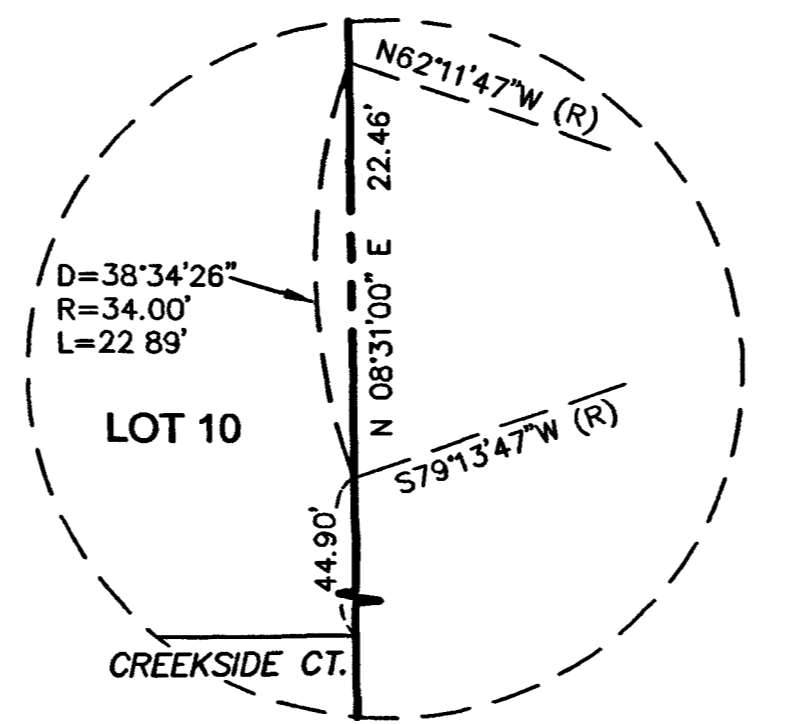
**BASIS OF BEARINGS:**  
THE BEARING, NORTH 08°31'00" EAST, OF CHURCH STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP BY JOSEPH R. BENNIE, WHICH WAS FILED FOR RECORD IN VOLUME 52 OF PARCEL MAPS PAGES 77-78, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

#	DELTA	RADIUS	LENGTH
C1	D=45°00'00"	R=119.00'	L=93.46'
C2	D=45°00'00"	R=81.00'	L=63.62'
C3	D=45°00'00"	R=119.00'	L=93.46'
C4	D=27°08'50"	R=81.00'	L=38.38'
C5	D=17°51'10"	R=81.00'	L=25.24'
C6	D=11°06'37"	R=119.00'	L=23.08'
C7	D=25°59'51"	R=119.00'	L=54.00'
C8	D=7°53'32"	R=119.00'	L=16.39'
C9	D=7°46'11"	R=119.00'	L=16.14'
C10	D=25°57'28"	R=119.00'	L=53.91'
C11	D=11°16'22"	R=119.00'	L=23.41'
C12	D=17°34'53"	R=81.00'	L=24.86'
C13	D=27°25'07"	R=81.00'	L=38.76'

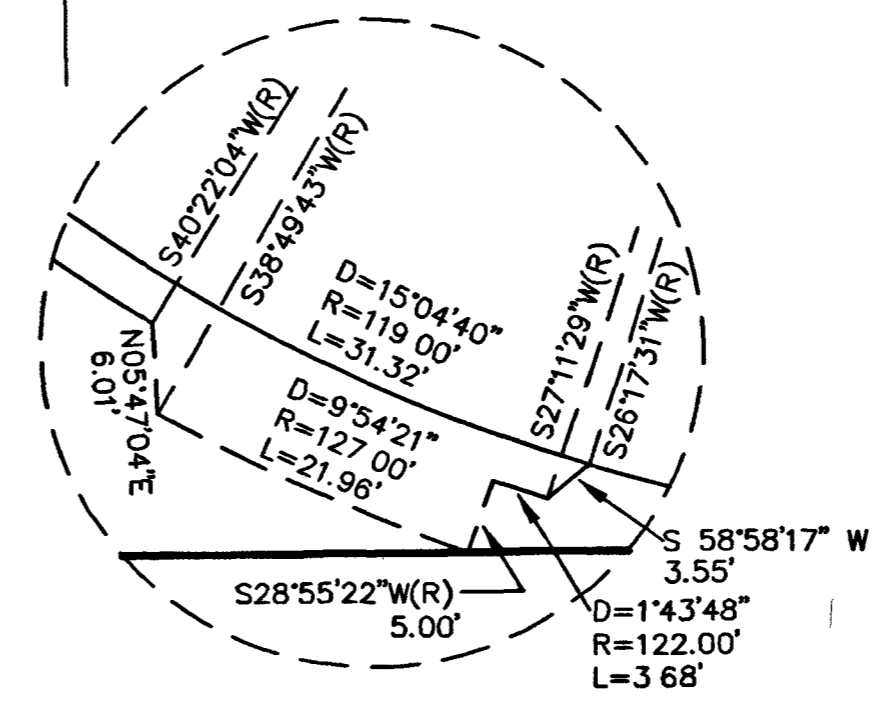
#	BEARING	LENGTH
L1	N 36°31'32" W	16.86'
L2	N 81°31'32" W	8.99'
L3	N 81°31'32" W	8.58'
L4	S 53°28'28" W	16.86'
L5	S 81°31'32" E	17.57'



"BUMP OUT" EASEMENT DETAIL  
SEE SHEET 2 OF 3  
[NOT TO SCALE]



PUBLIC ACCESS EASEMENT DETAIL  
SEE SHEET 2 OF 3  
[NOT TO SCALE]

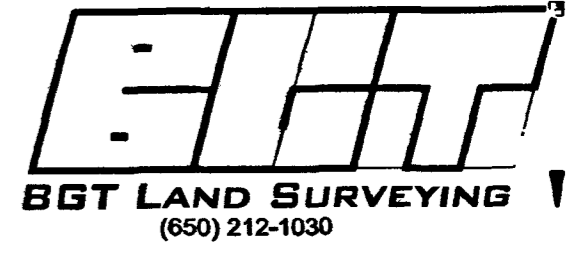


"BUMP OUT" EASEMENT DETAIL  
SEE SHEET 2 OF 3  
[NOT TO SCALE]

# AMENDED MAP OF CREEKSIDE COURT FINAL MAP NO. 16-02

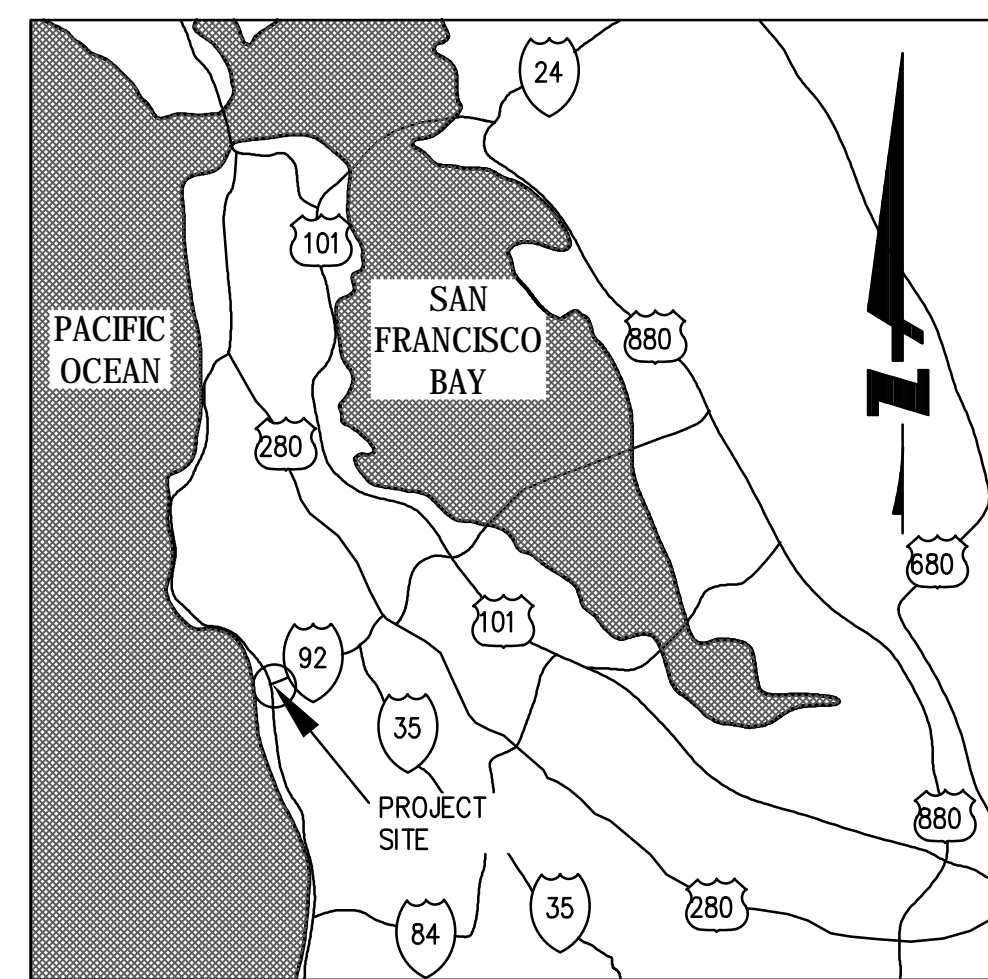
BEING A SUBDIVISION OF  
THE LANDS OF HMB COAST LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY  
PER DOC. NO. 2022-032317 O.R.  
CONSISTING OF THREE (3) SHEETS

HALF MOON BAY SAN MATEO COUNTY CALIFORNIA  
SCALE: 1" = 50' SHEET 3 OF 3 APRIL, 2023



# EXHIBIT C

## Project Utility System



**VICINITY MAP**  
N.T.S.

**ABBREVIATIONS:**

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- ATD ATRIUM DRAIN
- BC BACK OF CURB ELEVATION
- BFPD BACK FLOW PREVENTION DEVICE
- BOW BACK OF WALK ELEVATION
- BSTD BRICKSLOT TRENCH DRAIN
- BW BOTTOM OF WALL ELEVATION
- CB CATCH BASIN
- CD CURB DRAIN
- CL CENTER LINE
- CS CRAWL SPACE ELEVATION
- CIP CAST IRON PIPE
- CONC CONCRETE
- CR ROAD CROWN ELEVATION
- DD DECK DRAIN
- DDCV DOUBLE DETECTOR CHECK VALVE
- DIP DUCTILE IRON PIPE
- DS ROOF DOWN SPOUT
- DW DOMESTIC WATER LINE
- DWM DOMESTIC WATER METER
- DWY DRIVEWAY
- (E) EXISTING
- EG EXISTING GRADE
- ELEC ELECTRICAL
- EM ELECTRICAL METER
- EP EDGE OF PAVEMENT
- FC FACE OF CURB ELEVATION
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GROUND ELEVATION
- FL FLOW LINE ELEVATION
- FM FORCE MAIN LINE
- FS FINISHED SURFACE ELEVATION
- FP FINISHED PAVEMENT ELEVATION
- FW FIRE WATER LINE
- FWM FIRE WATER METER
- GB GRADE BREAK
- GM GAS METER
- GR GRATE ELEVATION
- GV GATE VALVE
- HP HIGH POINT
- INV INVERT ELEVATION
- IRRM IRRIGATION METER
- JB JUNCTION BOX
- JT JOINT TRENCH
- LD LANDSCAPE DRAIN
- LF LINEAR FEET
- LG LIP OF GUTTER ELEVATION
- LP LOW POINT
- (N) NEW
- PV POST INDICATOR VALVE
- PKG PARKING
- POC POINT OF CONNECTION
- RET RETAINING WALL
- RIM RIM ELEVATION
- RPPA REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY
- SLOPE
- SAP SEE ARCHITECTURAL PLANS
- SBD STORM SUB DRAIN
- SBDCO STORM SUB DRAIN CLEANOUT
- SD STORM DRAIN
- SDCO STORM DRAIN CLEANOUT
- SGR SEE GEOTECHNICAL REPORT
- SICB SIDE INLET CATCH BASIN
- SLP SEE LANDSCAPE PLANS
- SPP SEE PLUMBING PLANS
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSP SEE STRUCTURAL PLANS
- TD TOP OF CURB ELEVATION
- TW TOP OF WALL ELEVATION
- TYP TYPICAL
- USD UNDERSLAB DRAIN
- VD PIPE VERTICAL DROP
- WM DOMESTIC WATER LINE WATER METER

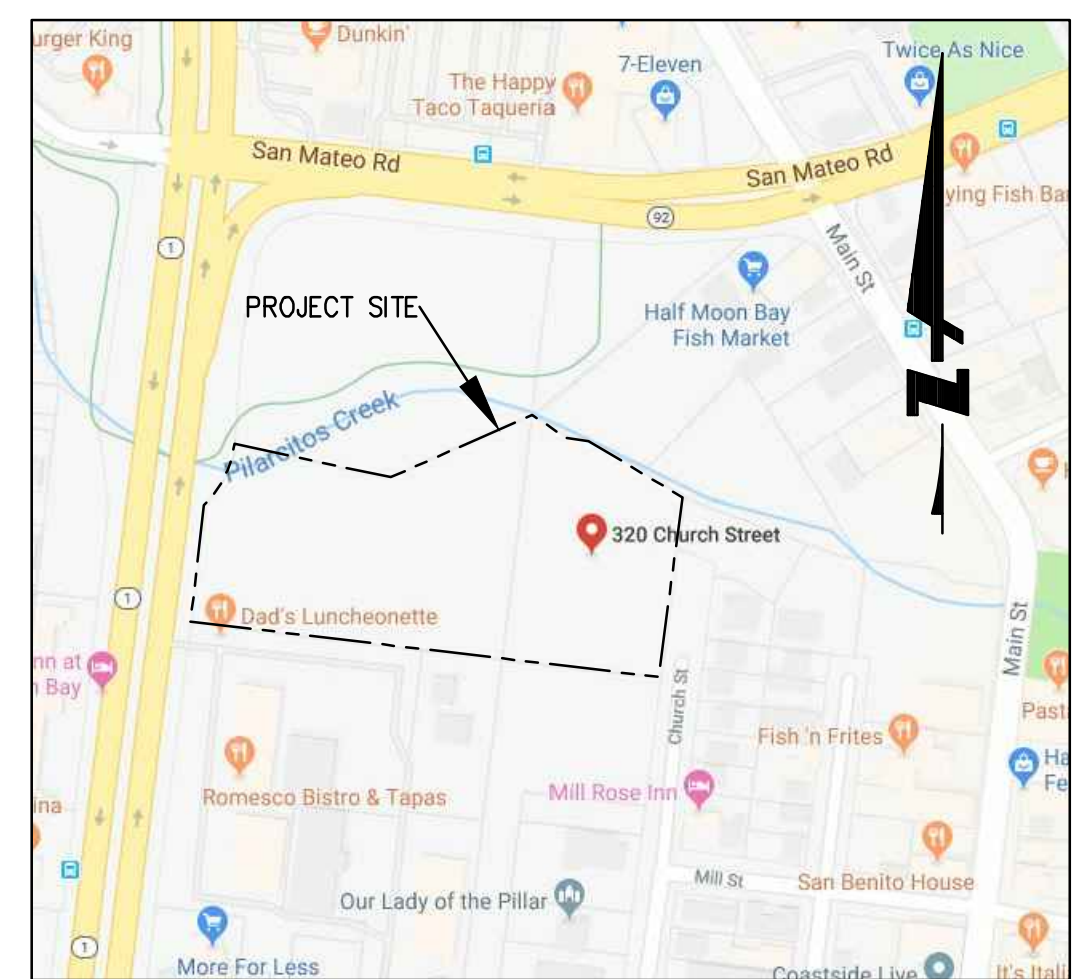
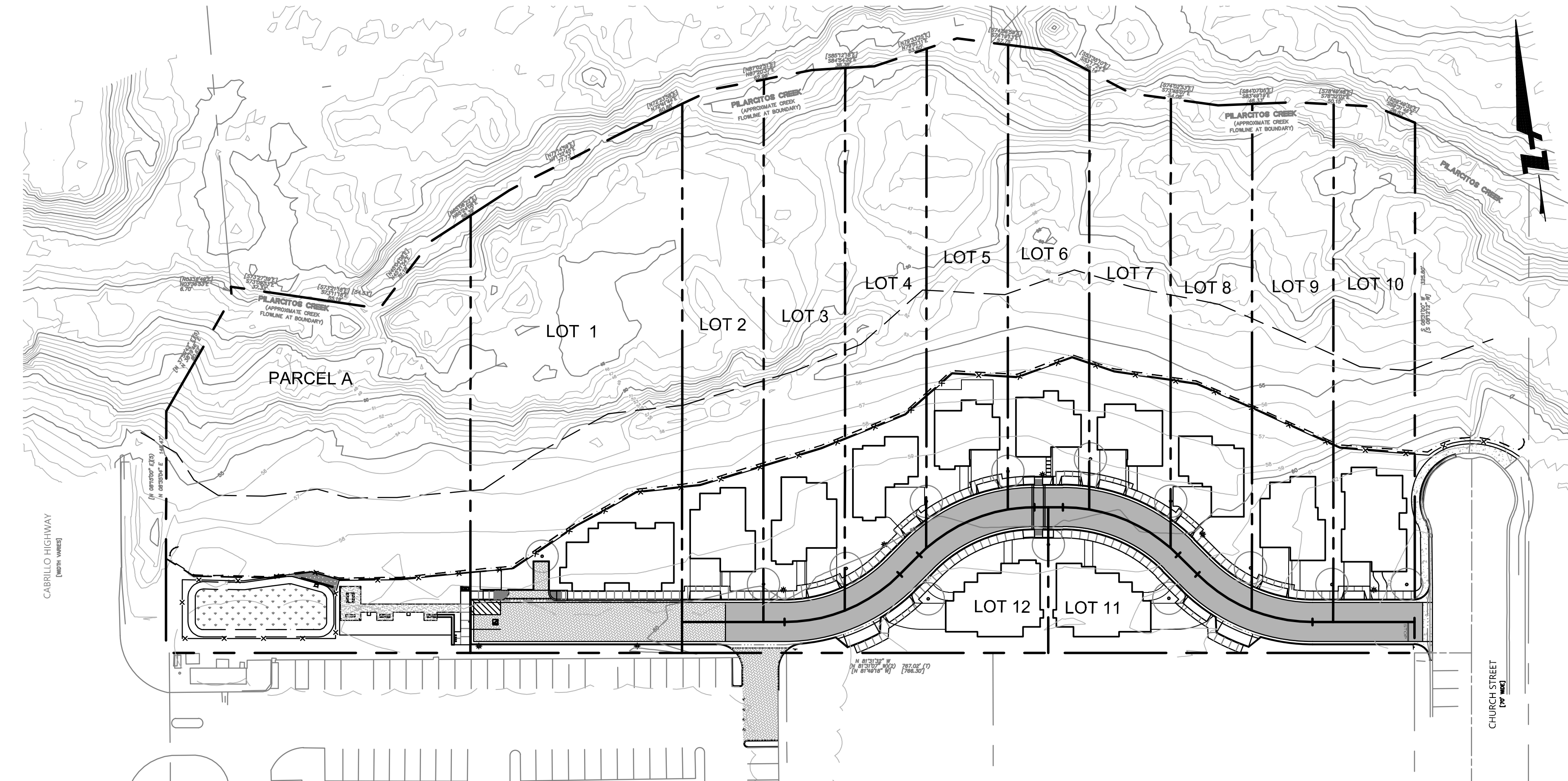
DISTURBED AREA	
ONSITE DISTURBED AREA	1.8 ACRES
OFFSITE DISTURBED AREA	0.15 ACRES
TOTAL	1.95 ACRES
WDID NO.	241C390591

# CREEKSIDE COURT SUBDIVISION

## 320 CHURCH STREET

### HALF MOON BAY, CA

APN: 056-150-010



**LOCATION MAP**  
N.T.S.

**LEGEND:**

- | EXISTING | PROPOSED |                             |
|----------|----------|-----------------------------|
| 6" SS    | SS       | BOUNDARY                    |
| 10" SD   | SD       | LIMIT OF WORK               |
| 4" SBD   | 4" SBD   | SANITARY SEWER              |
| FM       | FM       | SOLID STORM DRAIN           |
| 10" FW   | 10" FW   | PERFORATED SUB DRAIN        |
| 2" W     | w        | FORCE MAIN                  |
| IRR      | IRR      | FIRE SERVICE                |
| G        | G        | DOMESTIC WATER SERVICE      |
| T        | T        | IRRIGATION SERVICE          |
| TV       | TV       | NATURAL GAS                 |
| E        | E        | TELEPHONE                   |
| JT       | JT       | TV/CABLE TV                 |
| O/H      | O/H      | ELECTRIC                    |
| X        | X        | JOINT TRENCH                |
|          |          | OVERHEAD WIRES              |
|          |          | FENCE                       |
|          |          | CLEAN OUT TO GRADE          |
|          |          | FOUND MONUMENT              |
|          |          | DOUBLE DETECTOR CHECK VALVE |
|          |          | VALVE                       |
|          |          | METER BOX                   |
|          |          | STREET LIGHT                |
|          |          | DRAIN                       |
|          |          | ATRIUM DRAIN                |
|          |          | CATCH BASIN                 |
|          |          | FIRE HYDRANT                |
|          |          | FIRE DEPARTMENT CONNECTION  |
|          |          | BENCHMARK                   |
|          |          | MANHOLE                     |
|          |          | SIGN                        |
|          |          | SPLASH BLOCK                |
|          |          | DETAIL NUMBER               |
|          |          | SHEET LOCATION              |

**ENGINEER'S STATEMENT**

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

*Brian K. Scott*  
BRIAN K. SCOTT  
PRINCIPAL  
P.E. #61034  
BKF ENGINEERS  
DATE: 06/23/2023



**HAUL ROUTE:**

- CONTRACTOR SHALL UTILIZE THE FOLLOWING HAUL ROUTE FOR IMPORTING/EXPORTING SOILS AND OTHER CONSTRUCTION MATERIALS:
- FROM JOB SITE, HEAD SOUTH ON CHURCH ST TOWARDS KELLY AVE.
  - TURN RIGHT ONTO KELLY AVE HEADING WEST TOWARDS HWY 1.
  - TURN RIGHT ONTO HWY 1 NORTHBOUND TOWARDS HWY 92.
  - TURN RIGHT ONTO HWY 92.

**SHEET INDEX**

SHEET NO.	DESCRIPTION
CO.0	TITLE SHEET
CO.1	NOTES
CO.2	CONDITIONS OF APPROVAL
CO.3	CONDITIONS OF APPROVAL
C1.1	TOPOGRAPHIC SURVEY
C1.2	TOPOGRAPHIC SURVEY
C1.3	DEMOLITION PLAN & TREE PROTECTION PLAN
C1.4	DEMOLITION PLAN & TREE PROTECTION PLAN
C2.1	HORIZONTAL CONTROL PLAN
C2.2	HORIZONTAL CONTROL PLAN
C2.3	GRADING PLAN
C2.4	GRADING PLAN
C3.1	UTILITY PLAN & PROFILE
C3.2	UTILITY PLAN & PROFILE
C4.1	EROSION CONTROL PLAN
C4.2	BEST MANAGEMENT PRACTICES SHEET
C5.1	STORMWATER CONTROL PLAN
C6.1	STREET SECTIONS
C7.1	DETAIL SHEET
C7.2	DETAIL SHEET
C7.3	DETAIL SHEET
C7.4	DETAIL SHEET
C7.5	DETAIL SHEET
C7.6	DETAIL SHEET

**NOTES:**

- THE HOURS OF CONSTRUCTION SHALL BE LIMITED TO 7:00AM TO 6:00PM MONDAY THROUGH FRIDAY, 8:00AM TO 6:00PM SATURDAY, AND 10:00AM THROUGH 6:00PM SUNDAYS AND HOLIDAYS, UNLESS INDICATED OTHERWISE IN OTHER CONDITIONS OF APPROVAL.

**EARTHWORK QUANTITIES**

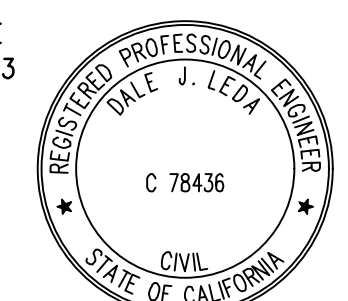
GROSS FIGURES	QUANTITY BREAKDOWN
CUT 2,150 CUBIC YARDS	BIORETENTION AREA
FILL 2,100 CUBIC YARDS	CUT 230 CUBIC YARDS
TOTAL 4,250 CUBIC YARDS	UTILITY TRENCHING
BALANCE 50 CUBIC YARDS OF EXPORT	CUT 370 CUBIC YARDS
	SITE WORK AND LANDSCAPING
	CUT 1,550 CUBIC YARDS
	FILL 2,100 CUBIC YARDS

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

**ENGINEER OF WORK**

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

*Dale J. Ledda*  
DALE LEDDA  
PROJECT MANAGER  
P.E. #78436  
BKF ENGINEERS  
DATE: 06/23/2023



**CONTACT INFORMATION:**

<b>OWNER</b>	COLDWELL BANKER REALTY 225 S. CABRILLO HWY, SUITE 105B, HALF MOON BAY, CA 94019 CONTACT: CAMERON JEFFS (415) 990-5934
<b>PROJECT COORDINATOR:</b>	CABRIEL GONZALEZ (650) 866-0095 GABE5757@GMAIL.COM
<b>BIOLOGIST:</b>	SOL ECOLOGY P.O. BOX 5214 PETALUMA, CA 94955 CONTACT: DANA RIGGS (707) 241-7718
<b>CIVIL:</b>	BKF ENGINEERS 255 SHORELINE DR, SUITE 200 REDWOOD CITY, CA 94065 CONTACT: DALE LEDDA (650) 482-6300

**IMPERVIOUS AREAS**

TOTAL PROPERTY AREA	238,845 SF
<b>IMPERVIOUS AREAS:</b>	
PRE-CONSTRUCTION	0 SF
POST-CONSTRUCTION	48,617 SF

PLANS HAVE BEEN REVIEWED AND APPROVED BY:

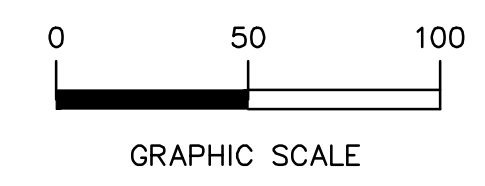
\_\_\_\_\_  
CITY ENGINEER DATE

PLANS HAVE BEEN REVIEWED AND APPROVED BY:

\_\_\_\_\_  
COASTSIDE FIRE PROTECTION DISTRICT DATE

PLANS HAVE BEEN REVIEWED AND APPROVED BY:

\_\_\_\_\_  
COASTSIDE COUNTY WATER DISTRICT DATE



**BKF100**  
YEARS  
ENGINEERS · SURVEYORS · PLANNERS

255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

**TITLE SHEET**  
**CREEKSIDE COURT SUBDIVISION**  
**320 CHURCH STREET**  
 SAN MATEO COUNTY  
 CALIFORNIA  
 HALF MOON BAY



Date	Revisions	No.
09/07/2022	REVISIONS	
01/09/2023	REVISIONS	
04/26/2023	PLAN CHECK - CCWD	
05/16/2023	PLAN CHECK REVISIONS	
06/23/2023	PLAN CHECK - CCWD	

Date: 04/05/2019  
Scale: AS SHOWN  
Design: D.J.L.  
Drawn: D.J.P./N.K.  
Approved: R.H.  
Job No: 20180123

Drawing Number: **CO.0**  
OF

**CAUTION:**

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION—PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

**GENERAL SITE NOTES:**

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO THE PROJECT MANAGER.
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL STUDY BY SIGMA PRIME GEOSCIENCES, INC. DATED MAY 18, 2018.

**DEMOLITION NOTES :**

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL, AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
- THE DEMOLITION PLANS ARE NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

**RECORD DRAWINGS:**

- THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND DEVELOPED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.

**STORM DRAIN MAINTENANCE NOTES:**

PLEASE NOTE THAT REGULAR MAINTENANCE ON GRADING AND DRAINAGE STRUCTURES IS REQUIRED TO ENSURE FUNCTIONALITY THROUGHOUT THE LIFE OF THE PROPERTY. MAINTENANCE SHOULD INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- THE CLEARING OF DEBRIS FROM DRAINAGE INLETS AND STORM DRAIN LINES.
- SURFACE GRADING MAY ALSO REQUIRE CONTINUED REFINEMENT, INCLUDING THE CLEARING AND RE-FINISHING OF VEGETATED SWALES AND SLOPES TO MINIMIZE PONDING, MAINTAIN POSITIVE DRAINAGE AWAY FROM IMPROVEMENTS AND PROTECT AGAINST EROSION.
- GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NEEDED.

**TREE/PLANT PROTECTION NOTES:**

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL: AS WELL AS FROM PUDDING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
- SEE ARBORIST REPORT PREPARED BY WALTER LEVSON (DATED 9/15/2016) FOR ADDITIONAL TREE PROTECTION NOTES.
- SEE TREE PROTECTION FENCING DETAIL ON SHEET C7.5 FOR ADDITIONAL TREE PROTECTION NOTES.

**HORIZONTAL CONTROL NOTES:**

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

**PAVEMENT SECTION:**

- SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

**SITE MAINTENANCE:**

- REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES ONTO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPE CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY.
- CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
- NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.
- UPON PROJECT COMPLETION THE CLIENT SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIANNUAL BASIS OR AS FOUND NECESSARY.

**DUST CONTROL:**

- WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPULINS OR OTHER EFFECTIVE COVERS.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).
- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT NPDES AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS.

**NPDES REQUIREMENTS:**

- ALL CONSTRUCTION ON OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

**EROSION AND SEDIMENTATION CONTROL NOTES:**

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN. IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS. THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE CITY'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.
- WILDLIFE EXCLUSIONARY FENCE SHALL BE INSTALLED PRIOR TO THE START OF PROJECT WORK TO PREVENT SPECIAL-STATUS SPECIES (E.G., CRLF, SFGS) FROM ENTERING THE ACTIVE WORK AREA AND STAGING AREA.
- PLASTIC MONO-FILAMENT NETTING OR SIMILAR MATERIAL THAT COULD CAUSE SPECIES ENTANGLEMENT SHALL NOT BE USED FOR WILDLIFE EXCLUSION FENCING OR ANY OTHER BMP. THE BOTTOM OF THE FENCE SHALL BE BURIED AT LEAST FOUR (4) INCHES TO PREVENT ANIMALS FROM BURROWING UNDER FENCE.
- WILDLIFE ESCAPE FUNNELS SHALL BE INSTALLED A MINIMUM OF EVERY 150 FEET TO ALLOW ENTRAPPED WILDLIFE TO ESCAPE FROM THE ENCLOSED AREA.

**SITE FENCE NOTES:**

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION SITE TO THE CITY STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

**GENERAL UTILITY SYSTEM NOTES:**

- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
- CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, SATELLITE DISH, TRANSFORMER, GAS METER, ETC.) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK. THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDUITS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
- CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL. IF RECOMMENDED BY THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNER'S PROJECT MANAGER.
- COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
- EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSING (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- VERTICAL SEPARATION REQUIREMENTS:
  - A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
  - WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
- HORIZONTAL SEPARATION REQUIREMENTS:
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' MINIMUM, UNLESS OTHERWISE NOTED.
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.

**FIRE PROTECTION NOTES:**

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM/CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC'S, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.
- FIRE ACCESS AND WATER SUPPLY SHALL BE IN PLACE BEFORE ANY CONSTRUCTION WITH FLAMMABLE MATERIAL BEGINS
- BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED AND VISIBLE FROM THE STREET. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS NUMBERS SHALL BE OF 4-INCH HEIGHT WITH A MINIMUM ½-INCH STROKE AND OF A COLOR, WHICH IS CONTRASTING WITH THE BACKGROUND. SUCH LETTER/NUMERALS SHALL BE ILLUMINATED AND FACING THE DIRECTION OF ACCESS.
- TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE OFFICIAL. SECTION 503.4 2016 CFC.

**TRAFFIC CONTROL NOTES:**

- LANE CLOSURE TRAFFIC CONTROL SHALL BE PROVIDED PER FIGURE 6H-18 (LANE CLOSURE MINOR STREET) OF THE CALIFORNIA MUTCD MANUAL (2014).
- ONE LANE OF TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION ON CHURCH STREET.
- ALL DRIVEWAYS WITHIN THE AREA SHALL REMAIN OPEN THROUGH THE PROJECT DURATION.
- IF A FULL STREET CLOSURE IS NEEDED, PLEASE DISCUSS WITH PUBLIC WORKS/ENGINEERING DEPARTMENT FOR APPROVAL.

DRAWING NAME: \\BKF-r\c\dat\2018\180123\_320\_Church\_Court\_Subdivision\ENG\chsheets.dwg PLOT DATE: 06-23-23 PLOTTED BY: wort

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NOTES  
CREEKSIDE COURT SUBDIVISION  
320 CHURCH STREET  
SAN MATEO COUNTY CALIFORNIA  
HALF MOON BAY



Date	Revisions	No.
09/02/2022	REVISIONS	
01/09/2023	REVISIONS	
04/26/2023	PLAN CHECK - COWD	
05/16/2023	PLAN CHECK REVISIONS	
06/23/2023	PLAN CHECK - COWD	

Date	Scale	Job No
04/05/2019	NO SCALE	20180123
Design	D/L	
Drawn	DJP/NK	
Approved	RH	
Job No	20180123	

Drawing Number:

**CO.1**  
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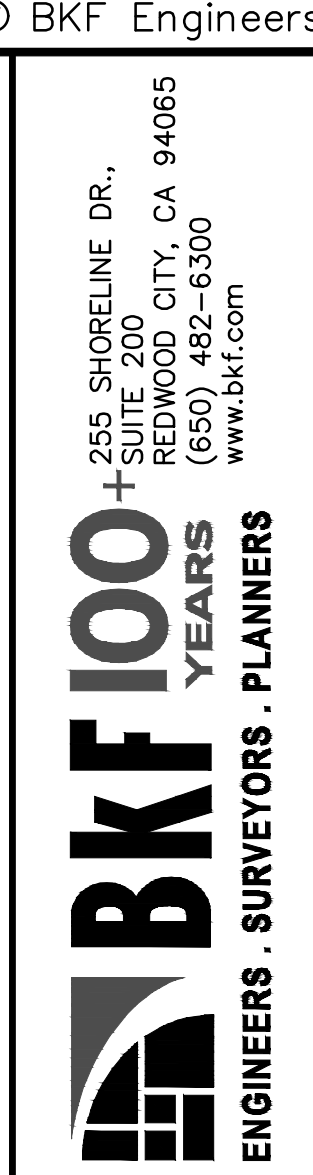
CONDITIONS OF APPROVAL:

A. THE FOLLOWING CONDITIONS FROM THE 2014 CALIFORNIA COASTAL COMMISSION ISSUED COASTAL DEVELOPMENT PERMIT APPLY AS REVISED FOR CITY OF HALF MOON BAY PERMIT DECEASED ISSUANCE...
1. FINAL PROJECT PLANS, DEVELOPMENT OF THE SITE SHALL CONFORM TO THE FINAL PROJECT PLANS TO COMPLY WITH THE FOLLOWING REQUIREMENTS:
a. DESIGN, THE PLANS SHALL CLEARLY IDENTIFY ALL MEASURES THAT WILL BE APPLIED TO ENSURE THAT THE PROJECT DESIGN, INCLUDING ALL FUTURE STRUCTURES AND ALL OTHER FUTURE PROJECT ELEMENTS (E.G., RESIDENCES, DRIVEWAYS, ROADS, FENCING, LIGHTING, UTILITIES, SIGNAGE, LANDSCAPING, PICNIC BENCHES, ETC.), DO NOT LEAD TO SIGNIFICANT ADVERSE IMPACTS ON PUBLIC VIEWS FROM HIGHWAY 1, INCLUDING BY ENSURING THAT SUCH DEVELOPMENT AND FUTURE BUILDING SITES ARE SITED AND DESIGNED SO AS TO LIMIT THE APPEARANCE OF BULK AND MASS AND TO BLEND SEAMLESSLY WITH THE SURROUNDING ENVIRONMENT.

11. WATER SUPPLY, THIS CONDITION IS DUPLICATIVE OF CITY CONDITIONS REGARDING THE DEMONSTRATION OF ADEQUATE WATER SUPPLY AND WATER CONNECTIONS.
8. THE FOLLOWING CONDITIONS SHALL APPLY TO ISSUANCE OF ANY PERMIT:
1. CONFORMANCE WITH APPROVED PLANS, DEVELOPMENT OF THE SITE SHALL CONFORM TO THE APPROVED PLANS ENTERED TENTATIVE SUBDIVISION MAP: CREKESIDE COURT, LLC WITH A CITY DATE STAMP OF MAY 17, 2017, EXCEPT FOR ANY REVISIONS REQUIRED BY THIS PERMIT. THE COMMUNITY DEVELOPMENT AND PUBLIC WORKS DIRECTORS SHALL REVIEW AND APPROVE ANY DEVIATION FROM THE APPROVED PLANS. IN THE EVENT THE DIRECTORS DETERMINES THAT ANY PROPOSED CHANGES WARRANT PLANNING COMMISSION REVIEW AND APPROVAL, THE APPLICANT SHALL SUBMIT THE REVISED PLANS FOR CONSIDERATION AT A PUBLIC HEARING BEFORE THE PLANNING COMMISSION. (COMMUNITY DEVELOPMENT AND PUBLIC WORKS DEPARTMENTS).
2. CONFORMANCE WITH THE MUNICIPAL CODE. NO PART OF THIS APPROVAL SHALL BE CONSTRUED TO PERMIT A VIOLATION OF ANY PART OF THE HALF MOON BAY MUNICIPAL CODE. (COMMUNITY DEVELOPMENT DEPARTMENT).

MM 4.4a-2c ALL FUTURE DEVELOPMENT ON THE PROJECT SITE SHALL COMPLY WITH THE APPLICABLE SAN FRANCISCO BAY MUNICIPAL REGIONAL STORMWATER PERMIT (SAN FRANCISCO BAY MUNICIPAL REGIONAL STORMWATER PERMIT (SAN FRANCISCO BAY REGIONAL STORMWATER PERMIT (SAN FRANCISCO BAY REGIONAL STORMWATER PERMIT PREVENTION PROGRAM NEW DEVELOPMENT PERFORMANCE STANDARDS (SMWPPP 2003)), INCLUDING LOW IMPACT DEVELOPMENT (LID) TECHNIQUES, TO ADDRESS BOTH SOLUBLE AND INSOLUBLE STORMWATER RUNOFF POLLUTANT DISCHARGES AND TO PREVENT INCREASES IN RUNOFF FLOWS FROM NEW DEVELOPMENT PROJECTS.
TIMING/IMPLEMENTATION: PRIOR TO AND DURING CONSTRUCTION ACTIVITIES ENFORCEMENT/MONITORING: PUBLIC WORKS DEPARTMENT
MM 4.4a-3a IF CONSTRUCTION ACTIVITIES OCCUR WITHIN THE NESTING SEASON (TYPICALLY FEBRUARY 1 TO AUGUST 30), THEN PRECONSTRUCTION SURVEYS FOR NESTING RAPTORS AND MIGRATORY BIRDS SHALL BE CONDUCTED BY A QUALIFIED BIOLOGIST UP TO TWO WEEKS PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, INCLUDING VEGETATION CLEARING. THE QUALIFIED BIOLOGIST SHALL SURVEY THE CONSTRUCTION ZONE AND A 250-FOOT RADIUS SURROUNDING THE CONSTRUCTION ZONE IN SUITABLE PAGE 24 OF 47 HABITAT, WHERE FEASIBLE, TO DETERMINE WHETHER THE ACTIVITIES TAKING PLACE HAVE THE POTENTIAL TO DISTURB OR OTHERWISE HARM NESTING BIRDS.
TIMING/IMPLEMENTATION: DURING CONSTRUCTION ENFORCEMENT/MONITORING: COMMUNITY DEVELOPMENT DEPARTMENT
GREENHOUSE GAS EMISSIONS
MM 4.6a-1 PRIOR TO ISSUANCE OF BUILDING PERMITS, THE PROJECT APPLICANT SHALL SPECIFY ON THE FINAL PROJECT PLANS IMPLEMENTATION OF BAAMD-RECOMMENDED CONSTRUCTION-RELATED MEASURES TO REDUCE GHG EMISSIONS DURING CONSTRUCTION ACTIVITIES. THE PROPOSED PROJECT SHALL ALSO IMPLEMENT THE FOLLOWING MEASURES OR IDENTIFY ALTERNATIVE MEASURES TO REDUCE CONSTRUCTION-RELATED GHG EMISSIONS, AS FEASIBLE:
a. USE OF ALTERNATIVE-FUELED (E.G., BIOIDISEL, ELECTRIC) CONSTRUCTION VEHICLES/EQUIPMENT TO THE MAXIMUM EXTENT POSSIBLE;
b. USE OF LOCAL CONSTRUCTION MATERIALS (WITHIN 100 MILES) TO THE MAXIMUM EXTENT POSSIBLE; AND
c. RECYCLE CONSTRUCTION WASTE AND DEMOLITION MATERIALS TO THE MAXIMUM EXTENT POSSIBLE.
TIMING/IMPLEMENTATION: DURING CONSTRUCTION ENFORCEMENT/MONITORING: COMMUNITY DEVELOPMENT DEPARTMENT
GEOLOGY AND SOILS
MM 4.7a-1 PRIOR TO ISSUANCE OF EACH BUILDING PERMIT, THE PROJECT APPLICANT SHALL SUBMIT PLANS TO THE CITY OF HALF MOON BAY FOR REVIEW AND APPROVAL DEMONSTRATING PROJECT COMPLIANCE WITH THE 2007 CALIFORNIA BUILDING STANDARDS CODE (OR MOST RECENT VERSION) SEISMIC REQUIREMENTS AND THE RECOMMENDATIONS OF A DESIGN-LEVEL GEOTECHNICAL INVESTIGATION. ALL SOIL ENGINEERING RECOMMENDATIONS AND STRUCTURAL FOUNDATIONS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER. THE APPROVED PLANS SHALL BE INCORPORATED INTO THE PROPOSED PROJECT. ALL ON-SITE SOIL ENGINEERING ACTIVITIES SHALL BE CONDUCTED UNDER THE SUPERVISION OF A LICENSED GEOTECHNICAL ENGINEER OR CERTIFIED ENGINEERING GEOLOGIST.
TIMING/IMPLEMENTATION: PRIOR TO THE ISSUANCE OF BUILDING PERMITS ENFORCEMENT/MONITORING: COMMUNITY DEVELOPMENT DEPARTMENT
HYDROLOGY AND WATER QUALITY
MM 4.9a-f-1 PRIOR TO ISSUANCE OF THE FINAL MAP, THE PROJECT APPLICANT SHALL BE REQUIRED TO DEVELOP AND SUBMIT A DESIGN-LEVEL DRAINAGE STUDY, WHICH SHALL INCLUDE MORE PRECISE CALCULATIONS OF STORMWATER RUNOFF FOR SMALL/FREQUENT STORMS AS WELL AS FLOOD-LEVEL EVENTS BASED ON THE ACTUAL STRUCTURES PROPOSED (SITE MANAGEMENT). IN ADDITION, BEST MANAGEMENT PRACTICES (BMP) DESIGN MEASURES SHALL BE INCLUDED IN THE DRAINAGE STUDY DEMONSTRATE SPECIFIC REDUCTION MEASURES CONSISTENT WITH CS GUIDANCE AND QUANTITARY REDUCTIONS IN STORMWATER FLOWS. SPECIFICALLY, PLANS SHALL INCLUDE DESIGN-LEVEL LOW IMPACT DEVELOPMENT RUNOFF MANAGEMENT STRUCTURAL AND NON-STRUCTURAL BEST MANAGEMENT PRACTICES FOR THE SUBDIVISION, INCLUDING PRACTICES SUCH AS:
a. SEDIMENTATION CONTROLLED. RUNOFF FROM THE PROJECT SITE SHALL NOT INCREASE SEDIMENTATION IN COASTAL WATERS POST-CONSTRUCTION. DURING CONSTRUCTION, RUNOFF FROM THE PROJECT SITE SHALL NOT INCREASE SEDIMENTATION IN COASTAL WATERS BEYOND WHAT IS ALLOWABLE UNDER THE FINAL WATER QUALITY CERTIFICATION APPROVED FOR THE PROJECT BY THE REGIONAL WATER QUALITY CONTROL BOARD.
b. POLLUTANTS CONTROLLED. RUNOFF FROM THE PROJECT SITE SHALL NOT RESULT IN OTHER POLLUTANTS ENTERING COASTAL WATERS OR WETLANDS DURING CONSTRUCTION OR POST CONSTRUCTION.
c. BMPs. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE USED TO PREVENT THE ENTRY OF POLLUTED STORMWATER RUNOFF INTO COASTAL WATERS AND WETLANDS DURING CONSTRUCTION AND POST-CONSTRUCTION, INCLUDING USE OF RELEVANT BMPs AS DETAILED IN THE CURRENT CALIFORNIA STORM WATER QUALITY BEST MANAGEMENT HANDBOOKS (HTTP://WWW.CAMBPHANDBOOKS.COM).
d. SPILL MEASURES. AN ON-SITE SPILL PREVENTION AND CONTROL RESPONSE PROGRAM, CONSISTING OF PUBLIC WORKS FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF RESPONSIBLE INDIVIDUALS, AND REPORTING PROTOCOLS TO THE APPROPRIATE PUBLIC AND EMERGENCY SERVICES AGENCIES IN THE EVENT OF A SPILL, SHALL BE IMPLEMENTED AT THE PROJECT TO CAPTURE AND CLEAN-UP ANY ACCIDENTAL OR OTHER RELEASES OF OIL, GREASE, FUELS, LUBRICANTS, OR OTHER HAZARDOUS MATERIALS, INCLUDING TO AVOID THEM ENTERING COASTAL WATERS OR WETLANDS.
e. BMP SCHEDULE. A SCHEDULE FOR INSTALLATION AND MAINTENANCE OF APPROPRIATE CONSTRUCTION SOURCE-CONTROL BMPs TO PREVENT ENTRY OF STORMWATER RUNOFF INTO THE CONSTRUCTION SITE AND TO PREVENT EXCAVATED MATERIALS FROM ENTERING RUNOFF LEAVING THE CONSTRUCTION SITE.
TIMING/IMPLEMENTATION: PRIOR TO APPROVAL OF FINAL MAPS ENFORCEMENT/MONITORING: PUBLIC WORKS DEPARTMENT
NOISE
MM 4.12a-cd-1 THE FOLLOWING NOISE ATTENUATION REQUIREMENTS SHALL APPLY TO ALL CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT:
a. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 AM AND 6 PM WEEKDAYS, 8 AM AND 6 PM ON SATURDAYS, AND 10 AM AND 6 PM ON SUNDAYS AND HOLIDAYS
b. ALL CONSTRUCTION EQUIPMENT SHALL USE NOISE-REDUCTION FEATURES (E.G., MUFFLERS AND ENGINE SHROUDS) THAT ARE NO LESS EFFECTIVE THAN THOSE ORIGINALLY INSTALLED BY THE MANUFACTURER.
c. CONSTRUCTION STAGING AND HEAVY EQUIPMENT MAINTENANCE ACTIVITIES SHALL BE PERFORMED A MINIMUM DISTANCE OF 100 FEET FROM THE NEAREST OFF-SITE RESIDENCE, UNLESS SAFETY OR TECHNICAL FACTORS TAKE PRECEDENCE.
d. STATIONARY COMBUSTION-DRIVEN EQUIPMENT SUCH AS PUMPS OR GENERATORS OPERATING WITHIN 100 FEET OF ANY OFF-SITE RESIDENCE SHALL BE SHIELDED WITH A NOISE PROTECTION BARRIER.
TIMING/IMPLEMENTATION: DURING CONSTRUCTION ACTIVITIES ENFORCEMENT/MONITORING: COMMUNITY DEVELOPMENT DEPARTMENT
4. ANNUAL REPORTS. THE APPLICANT SHALL FILE ANNUAL REPORTS WITH THE PLANNING DIRECTOR CERTIFYING THAT THE MITIGATION MEASURES HAVE BEEN INCORPORATED INTO THE PROJECT, IMPLEMENTED OR MAINTAINED AS A CONDITION OF PROJECT APPROVAL. IF THE REQUIRED REPORTS ARE NOT FILED OR THE MITIGATION MEASURES ARE NOT IMPLEMENTED, THE CITY SHALL REQUIRE THE PROJECT FROM CONTINUING TO BE PROCESSED, CONSIDERED, AND SHALL PROHIBIT OCCUPANCY. THE COMMUNITY DEVELOPMENT DIRECTOR SHALL USE A MITIGATION MONITORING CHECKLIST TO CERTIFY THAT THE MITIGATION MEASURES HAVE BEEN IMPLEMENTED. CITY STAFF MONITORING DATES SHALL GENERALLY BE TIED TO PROJECT MILESTONES SUCH AS GRADING PERMIT, IMPROVEMENT PLANS, FINAL SUBDIVISION MAP RECORDATION, BUILDING AND OCCUPANCY PERMITS. (COMMUNITY DEVELOPMENT DEPARTMENT)

5. PAYMENT OF FEES. THE APPLICANT SHALL PAY ALL OUTSTANDING FEES AND CHARGES DUE AND MAKE ANY NECESSARY ESCROW DEPOSITS PRIOR TO APPROVAL OF A FINAL MAP. (COMMUNITY DEVELOPMENT AND PUBLIC WORKS DEPARTMENTS)
6. GATES AND FENCES. THE PRIVATE STREET SERVING THE NEW COMMUNITY SHALL NOT BE GATED NOR FENCED, THE PASSIVE OPEN SPACE RECREATION AREA SHALL NOT BE FENCED, AND ANY FENCING NEEDED AROUND THE DRAINAGE SWALE SHALL BE OF AN OPEN DESIGN, SUCH AS LOW SPLIT RAIL FENCING. (COMMUNITY DEVELOPMENT DEPARTMENT)
c. THE FOLLOWING CONDITIONS SHALL BE FULFILLED PRIOR TO SUBMITTAL OF THE FINAL MAP:
1. SIGNED CONDITIONS OF APPROVAL. THE APPLICANT/OWNER SHALL SUBMIT A SIGNED COPY OF THE CONDITIONS OF APPROVAL TO THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT. (COMMUNITY DEVELOPMENT DEPARTMENT)
2. FINAL MAP CONTENTS. THE FINAL MAP SHALL BE IN COMPLETE FORM AND ACCOMPANIED BY THE TRAVERSE CLOSURE COMPUTATIONS, MAP CHECKING FEED AND ALL OTHER ITEMS REQUIRED BY THE CITY ENGINEER, CONSISTENT WITH APPROVED PLANS. THE FINAL MAP SHALL INCLUDE A NAME TO BE APPROVED BY THE CITY COUNCIL FOR ANY NEW STREETS THAT ARE NOT EXTENSIONS OF EXISTING NAMED STREETS AND AN IRREVOCABLE OFFER TO DEDICATE ALL NECESSARY PUBLIC RIGHTS-OF-WAY AND EASEMENTS. THE SUBMITTAL SHALL INCLUDE THE LATEST TITLE REPORT GUARANTEE OF THE PROPERTY. ALL RECORD OWNERS OF PROPERTY WITHIN THE BOUNDARIES OF THIS SUBDIVISION SHALL SIGN THE FINAL MAP PRIOR TO ITS APPROVAL FOR RECORDATION. ALL CITY AND AGENCY APPROVAL SIGNATURES SHALL BE PROVIDED ON THE FRONT SHEET OF THE FINAL MAP FOR EACH AGENCY APPROVAL. SPECIFICALLY, THE CITY ENGINEER WILL REQUIRE THE APPLICANT TO SUBMIT THE FOLLOWING DETAILS WITH THE FINAL MAP SUBMITTAL:
• GEOTECHNICAL STUDY REPORT ACCEPTABLE TO THE CITY ENGINEER VERIFYING SUITABILITY OF THE PROPOSED LOTS FOR THE PROPOSED USE.
• NUMBER AND LOCATION OF LOTS SHOWN ON THE APPROVED TENTATIVE MAP MAY CHANGE AS WARRANTED BY THE AFOREMENTIONED STUDIES.
• A PROPERTY-OWNERS ASSOCIATION MUST BE CREATED IF THE PROPOSED STREET AND STORM DRAIN FACILITIES ARE NOT AS PER THE CITY'S STANDARDS OR ARE NOT ACCEPTABLE FOR CITY'S MAINTENANCE.
• STREET WIDTH SHALL BE NOT LESS THAN 28 FEET IF PARKING IS PROPOSED OR REQUIRED ON ONE SIDE AND 36 FEET IF PARKING IS PROPOSED OR REQUIRED ON BOTH SIDES. THE DRIVEWAYS SHALL BE LOCATED SUCH THAT MAXIMUM NUMBERS OF PARKING SPACES ARE PROVIDED ON- STREET. PROVIDE TURN AROUND AT THE STREET END IN COMPLIANCE WITH THE REQUIREMENTS OF THE COASTSIDE FIRE DISTRICT.
• SIDEWALKS FRONTING ALL PROPOSED LOTS.
• STREET ILLUMINATION
• PUBLIC UTILITIES TO SERVE EACH LOT AS PER THE REQUIREMENTS OF THE UTILITY AGENCY. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. ALL UTILITIES SHALL BE SIZED AS PER THE CALCULATIONS APPROVED BY THE UTILITY OWNERS AND EXCEED THE MINIMUM REQUIRED SIZES. THE STORM DRAINS IN THE ROADWAY SHALL BE NOT LESS THAN 12 INCH IN DIAMETER AND SANITARY SEWER MAINS SHALL BE NOT LESS THAN 6 INCH DIAMETER. THESE SHALL BE OF MATERIALS PROVIDING ADEQUATE STRENGTH TO WITHSTAND ANTICIPATED LOADS.
• SANITARY SEWER MAIN SERVING MULTIPLE LOTS MUST BE OFFERED FOR THE CITY'S MAINTENANCE AND BUILT AS PER THE CITY STANDARDS PER PLANS APPROVED BY THE CITY ENGINEER. THE SEWER MAIN MUST FLOW BY GRAVITY TO THE CITY'S SEWER COLLECTION SYSTEM.
• THE PROPERTY OWNERS, AT NO COST TO CITY, SHALL MAINTAIN ALL TREES PLANTED ALONG THE STREETS.
• THE LOCATION OF THE TRASH ENCLOSURE ON EACH LOT SHALL BE REVIEWED AND AGREED TO BY THE TRASH HAULER.
• PROVIDE WRITTEN NOTICES TO AFFECTED RESIDENTS, PUBLIC AND OTHERS AT LEAST TWO BUSINESS DAYS IN ADVANCE OF ANY PLANNED DISRUPTION TO PEDESTRIAN OR VEHICULAR TRAFFIC, PARKING AND PUBLIC SERVICE FACILITIES. (PUBLIC WORKS DEPARTMENT)
3. FINAL MAP FORM. THE FINAL MAP SHALL BE SUBMITTED ALONG WITH THE REQUIRED APPLICATION AND FEES TO THE PUBLIC WORKS DEPARTMENT IN A FORM SATISFACTORY TO THE CITY ENGINEER AND CITY ATTORNEY. (PUBLIC WORKS DEPARTMENT/CITY ATTORNEY)
4. IMPROVEMENT PLANS. THE APPLICANT SHALL SUBMIT IMPROVEMENT PLANS FOR THE ON-SITE AND PUBLIC IMPROVEMENTS, INCLUDING A GRADING AND DRAINAGE PLAN, WITH DESIGNATED STAGE AREAS, INCLUDING TABLES AND BENCHES AND THE HAMMERHEAD TURNAROUND. THE PLAN SHALL ALSO INCLUDE PROVISIONS FOR THE WATERIZATION OF THE AS PART OF THE INITIAL FINAL MAP SUBMISSION. THE PLANS SHALL BE IN COMPLETE FORM AND IN ACCORDANCE WITH THE STANDARDS ESTABLISHED BY THE CALIFORNIA SUBDIVISION MAP ACT, THE CITY'S MUNICIPAL CODE, AND THE CITY ENGINEER FURTHERING FORMAT AND DESIGN INFORMATION REQUIRED. THE IMPROVEMENT PLANS SHALL REGARDING CONFORM TO THE CITY OF HALF MOON BAY DESIGN STANDARDS, DESIGN DETAILS, STANDARD SPECIFICATIONS, AND CONDITIONS OF APPROVAL. (PUBLIC WORKS DEPARTMENT)
5. SUBDIVISION IMPROVEMENT AGREEMENT. IF, AT THE TIME OF APPROVAL OF THE FINAL MAP, ANY REQUIRED PUBLIC IMPROVEMENTS HAVE NOT BEEN COMPLETED AND ACCEPTED BY THE CITY ENGINEER, THE APPLICANT SHALL ENTER INTO A SUBDIVISION IMPROVEMENT AGREEMENT WITH THE SUBDIVISION MAP ACT, ENTERING INTO SUBDIVISION IMPROVEMENT AGREEMENT SATISFACTORY TO THE CITY COUNCIL, COVERING ALL OF THE CONDITIONAL ITEMS SPECIFIED HEREIN OR AS REQUIRED BY LAW. (PUBLIC WORKS DEPARTMENT)
6. CONDITIONS, COVENANTS AND RESTRICTIONS (CC&R). WITH THE SUBMITTAL FOR FINAL MAP, THE APPLICANT SHALL PROVIDE DRAFT CO&RS FOR THE CITY REVIEW. THE DRAFT CO&RS SHALL INCORPORATE THE MITIGATION MEASURES AND CONDITIONS OF APPROVAL, AND SHALL BE CONSISTENT WITH ALL ASPECTS OF THIS PERMIT AND ALL OTHER CITY, STATE, AND FEDERAL REGULATIONS. THE CO&RS SHALL ESTABLISH THAT THE UTILITY CREKESIDE HOMEOWNERS ASSOCIATION (HOA) SHALL PROVIDE FOR MAINTENANCE OF ALL ON-SITE IMPROVEMENTS INCLUDING THE PRIVATE STREET, DRAINAGE SYSTEM, CREKESIDE PARK, AND CONSERVATION EASEMENT INCLUDING THE RIPARIAN BUFFER. (CITY ATTORNEY)
7. CHURCH STREET RECONSTRUCTION CONTRIBUTION. THE APPLICANT SHALL PAY THE CITY THE COST TO RECONSTRUCT THE CHURCH STREET RIGHT-OF-WAY ALONG THE FRONTAGE OF THE PROJECT SITE FROM THE STREET CENTERLINE WESTERLY TO THE PROJECT PROPERTY LINE. (PUBLIC WORKS DEPARTMENT)
8. ASSESSMENT REAPPORTIONMENTS. THE APPLICANT SHALL PREPARE, OR CAUSE TO BE PREPARED, ANY ASSESSMENT REAPPORTIONMENTS NECESSARY FOR THE SUBDIVISION, INCLUDING ANY HALF MOON BAY FIRE OPI. THE REAPPORTIONMENTS SHALL CONFIRM TO THE LOTS CREATED BY THE SUBDIVISION SUCH THAT EACH LOT SHALL BE A SEPARATE PARCEL. PRIOR TO APPROVAL OF THE FINAL MAP, THE APPLICANT SHALL SUBMIT ANY AND ALL COMPLETED REAPPORTIONMENT DIAGRAMS AND LEGAL DOCUMENTS TO THE CITY ENGINEER FOR REVIEW, DISTRIBUTION, AND RECORDING. (PUBLIC WORKS DEPARTMENT)
9. REQUIRED PLAN REVISIONS. THE FINAL MAP SUBMITTAL SHALL INCLUDE THE FOLLOWING REVISIONS:
a. ON PARCEL A, THE ON-SITE DRAINAGE DETENTION SWALE SHALL BE LOCATED ADJACENT TO HIGHWAY 1 AND THE PRIVATE OPEN SPACE FOR PASSIVE RECREATION SHALL BE LOCATED IMMEDIATELY ADJACENT TO LOT 1. NEITHER THE SWALE NOR THE OPEN SPACE AREA SHALL ENCRoACH INTO THE CONSERVATION EASEMENT FOR THE RIPARIAN BUFFER.
b. BICYCLE PARKING FACILITIES SHALL BE PROVIDED WITHIN THE PRIVATE OPEN SPACE AREA.
c. A LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED FOR THE COMMON AREAS OF THE SITE, INCLUDING THE PRIVATE STREET AND PORTIONS OF PARCEL A LOCATED OUTSIDE OF THE CONSERVATION EASEMENT FOR THE RIPARIAN CORRIDOR.
d. THE FINAL MAP AND IMPROVEMENT PLANS SHALL DESIGNATE AN ACCESS EASEMENT OF UP TO 10 FEET IN WIDTH ALONG THE WESTERN PROPERTY LINE TO ACCOMMODATE THE FUTURE EAST SIDE PARALLEL TRAIL TO THE SATISFACTION OF THE CITY ENGINEER IS SO FAR AS ADDITIONAL ROOM IS NEEDED FOR THAT FUTURE IMPROVEMENT. THE EASEMENT SHALL NOT EXTEND INTO THE OPEN SPACE CONSERVATION AREA FOR THE RIPARIAN VEGETATION AND ITS ASSOCIATED 50-FOOT BUFFER. (COMMUNITY DEVELOPMENT AND PUBLIC WORKS DEPARTMENTS)
10. PARK FACILITIES DEVELOPMENT EEE. THIS PROJECT IS SUBJECT TO PARK FACILITIES DEVELOPMENT EASEMENT (PFD) CHAPTER 18.34 OF THE HALF MOON BAY MUNICIPAL CODE. PRIOR TO THE ISSUANCE OF THE FINAL MAP, THE PERMITTEE SHALL PAY TO THE CITY PARK FACILITIES FEES IN CONFORMANCE WITH THE REQUIREMENTS OF CHAPTER 18.34 OF THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR. (COMMUNITY DEVELOPMENT DEPARTMENT)



CONDITIONS OF APPROVAL
CREKESIDE COURT SUBDIVISION
320 CHURCH STREET
SAN MATEO COUNTY
CALIFORNIA
HALF MOON BAY
ENGINEERS SURVEYORS PLANNERS

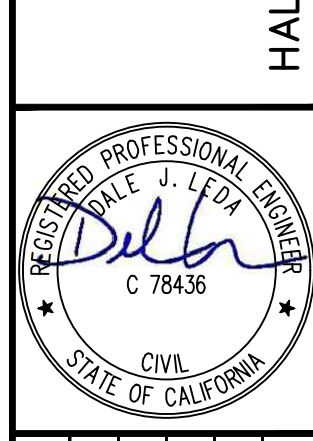


Table with columns: Date, Revisions, No., Scale, Drawn, Design, DPL/CHK, Approved, Job No.
Date: 04/05/2019
Scale: NO SCALE
Drawn: DPL
Design: DPL/CHK
Approved: RH
Job No: 20180123
Revisions: 09/02/2022, 01/09/2023, 04/26/2023, 05/16/2023, 06/21/2023

DRAWING NAME: \\BKF-trc\dal\02181\0123\_320\_Church\_Street\ENR\chsheets.dwg
PLOT DATE: 06-23-23
PLOTTED BY: wort

CONDITIONS OF APPROVAL (CONT'D):

- 11. AFFORDABLE HOUSING AGREEMENT. THIS PROJECT INCLUDES A RESIDENTIAL SUBDIVISION CREATING TO OR MORE LOTS AND IS SUBJECT TO THE BELOW MARKET RATE HOUSING REQUIREMENTS...
12. AGENCY PERMITS. ANY PERMITS REQUIRED BY THE COASTAL COMMISSION, CALTRANS, THE CALIFORNIA DEPARTMENT OF FISH & GAME, THE US ARMY CORPS OF ENGINEERS, OR OTHER AGENCY WITH PERMITTING JURISDICTION OVER THE SUBJECT PROPERTY SHALL BE OBTAINED BY THE APPLICANT PRIOR TO APPROVAL OF A FINAL MAP.
13. U.S. ARMY CORPS OF ENGINEERS PERMIT. APPLICANT SHALL SUBMIT A COMPLETED APPLICATION FOR COMPLIANCE WITH SECTION 404 OF THE CLEAN WATER ACT (CWA)...
14. ACCESSIBILITY. THE TENTATIVE MAP AND IMPROVEMENT PLANS SHALL PROVIDE ACCESS ON THE PRIVATE STREET AND TO AND WITHIN THE PRIVATE OPEN SPACE FOR PASSIVE RECREATION AREA IN CONFORMANCE WITH CHAPTER 11 OF THE 2013 CALIFORNIA BUILDING CODE CHAPTER 11A AND 11B.
15. EVIDENCE OF WATER CONNECTION CAPACITY. THE APPLICANT SHALL PROVIDE EVIDENCE OF ADEQUATE WATER CONNECTION CAPACITY FOR FUTURE DEVELOPMENT, INCLUDING FIRE FLOW, WITH SUBMITTAL FOR THE FINAL MAP.
16. EVIDENCE OF SEWER CONNECTION CAPACITY. THE APPLICANT SHALL PROVIDE EVIDENCE OF ADEQUATE SEWER CONNECTION CAPACITY WITH SUBMITTAL FOR THE FINAL MAP.
17. STREET FRONTAGE IMPROVEMENTS. THE APPLICATION FOR FINAL MAP AND IMPROVEMENT PLANS SHALL INCLUDE DESIGN PLANS FOR CONSTRUCTION OF STREET IMPROVEMENTS IN CONFORMANCE WITH CITY DESIGN STANDARDS FOR APPROVAL BY THE CITY ENGINEER.
18. LOT DRAINAGE PLAN AND ON-SITE DETENTION. WITH THE APPLICATION FOR THE FINAL MAP AND IMPROVEMENT PLANS, THE APPLICANT SHALL PROVIDE A LOT DRAINAGE PLAN...
19. STORMWATER MANAGEMENT-TREATMENT (FOR REGULATED PROJECTS). WITH THE APPLICATION FOR THE FINAL MAP AND IMPROVEMENT PLANS, THE APPLICANT SHALL SUBMIT A STORM WATER MANAGEMENT-TREATMENT PLAN...
20. CALIFORNIA CONSTRUCTION GENERAL PERMIT (CGP). FOR PROJECTS DISTURBING MORE THAN ONE (1) ACRE OF LAND DURING CONSTRUCTION, THE APPLICANT SHALL OBTAIN COVERAGE UNDER THE STATE'S CONSTRUCTION GENERAL PERMIT (CGP)...
21. UNDERGROUND UTILITIES/SERVICES. WITH THE APPLICATION FOR FINAL MAP AND IMPROVEMENT PLANS, ELECTRIC, TELECOMMUNICATION, AND CABLE AND UTILITY SERVICES SHALL BE INDICATED TO BE PROVIDED THROUGH UNDERGROUND SERVICE CONNECTIONS ONLY.
22. RELOCATING UTILITIES. WITH THE APPLICATION FOR FINAL MAP AND IMPROVEMENT PLANS THE APPLICANT SHALL IDENTIFY PUBLIC UTILITIES WITHIN LEGAL RECORDED PUBLIC UTILITY EASEMENTS REQUIRING RELOCATION AS A RESULT OF THE CONSTRUCTION OF FUTURE BUILDING(S) OR IMPROVEMENTS UNDER THIS PERMIT.
23. DAMAGE TO STREETS. ALL WORK SHALL BE UNDERTAKEN IN A MANNER THAT WILL PREVENT DAMAGE TO PUBLIC STREETS AND UTILITIES AND THAT WILL MAINTAIN STREETS FREE AND CLEAR OF ANY CONSTRUCTION MATERIALS, DEBRIS, OR MUD.
24. SANITARY SEWER SYSTEM DESIGN AND MAINTENANCE. THE PERMITTEE SHALL SUBMIT FOR REVIEW AND OBTAIN CITY ENGINEER APPROVAL OF AN ANALYSIS OF THE EXISTING SEWER SYSTEM FROM THE PROPERTY BOUNDARY TO THE NEAREST PUMP STATION OR MAIN TRUNK LINE TO DETERMINE DESIGN FOR THE ON-SITE SYSTEM, WHICH WILL INCLUDE A PRIVATE LIFT STATION, SHOULD ANY DEFICIENCY IN THIS SYSTEM BE FOUND.
25. FIRE ACCESS ROADS. WITH THE APPLICATION FOR FINAL MAP AND IMPROVEMENT PLANS, THE APPLICANT SHALL DEMONSTRATE PROVISION OF AN ASPHALT-SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS IN CONFORMANCE WITH COASTSIDE FIRE PROTECTION DISTRICT ORDINANCE 2016-03 AND THE CALIFORNIA FIRE CODE, TO THE SATISFACTION OF THE FIRE MARSHALL.
26. FIRE HYDRANT. AN APPROVED FIRE HYDRANT (FLOW 960) MUST BE LOCATED WITHIN 500 FEET MEASURED BY WAY OF DRIVABLE ACCESS FROM THE PROPOSED PROJECT.
27. COASTSIDE COUNTY WATER DISTRICT - REGULATIONS. THE PROJECT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS OF THE COASTSIDE COUNTY WATER DISTRICT (WATER DISTRICT).
28. COASTSIDE COUNTY WATER DISTRICT - WATER SERVICE TRENCHING. WATER SERVICE SHALL NOT BE IN THE SAME TRENCH AS OTHER UTILITIES. (WATER DISTRICT).
D. THE FOLLOWING CONDITIONS SHALL BE IMPLEMENTED PRIOR TO ISSUANCE OF A GRADING PERMIT AND DURING CONSTRUCTION:
1. PRE-CONSTRUCTION MEETING. A PRE-CONSTRUCTION MEETING SHALL OCCUR PRIOR TO THE START OF ANY CONSTRUCTION FOR THE PROJECT. THE MEMBERS OF THE MEETING SHALL CONSIST OF, BUT NOT LIMITED TO, THE PLANNING DEPARTMENT, PUBLIC WORKS DEPARTMENT, AND THE BIOLOGIST.
2. VISUAL INSPECTION. PRIOR TO COMMENCEMENT OF WORK, AN INITIAL VISUAL INSPECTION OF THE EXISTING STREET CONDITION WILL TAKE PLACE BETWEEN THE CONTRACTOR AND PUBLIC WORKS INSPECTOR.
3. CONSTRUCTION NOTICE. NO LESS THAN 5 DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR CONSTRUCTION STAGING ACTIVITIES, THE PERMITTEE SHALL PROVIDE WRITTEN NOTICE OF THE CONSTRUCTION ACTIVITY TO THE RESIDENTS OF PROPERTIES LOCATED WITHIN 300 FEET OF THE AREA OF CONSTRUCTION OR CONSTRUCTION STAGING.
4. CONSTRUCTION PLANS. FILE NUMBER PDP-17-031 AND THE CONDITIONS OF APPROVAL FOR THIS PROJECT SHALL BE PROVIDED ON THE COVER PAGE OF THE BUILDING OR GRADING PERMIT APPLICATION SUBMITTAL.
5. CONSTRUCTION HOURS. CONSTRUCTION WORK SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY; 8:00 A.M. TO 6:00 P.M. SATURDAYS; AND 10:00 A.M. TO 6:00 P.M. SUNDAYS AND HOLIDAYS, EXCEPT AS EXPRESSLY AUTHORIZED BY THE CITY ENGINEER IN CONFORMANCE WITH SECTION 14.40.020 OF THE HALF MOON BAY MUNICIPAL CODE.
6. CONSTRUCTION COORDINATOR. A CONSTRUCTION COORDINATOR SHALL BE DESIGNATED FOR THIS PROJECT AND SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH CONSTRUCTION HOURS, SITE CLEANLINESS, AND THE ANTI-NUISANCE REQUIREMENTS OF THIS PERMIT AND SHALL IMPLEMENT THE FOLLOWING:
a. SIGNAGE. A WEATHERPROOF CONSTRUCTION SIGN SHALL BE POSTED ON THE SITE WHERE IT IS READABLE FROM THE SIDEWALK.
b. TELEPHONE CONTACT. THE CONSTRUCTION COORDINATOR PHONE NUMBER SHALL PROVIDE FOR MESSAGES WHEN THE CONSTRUCTION COORDINATOR IS NOT AVAILABLE AND DURING NON-WORK HOURS.
c. CONSTRUCTION COORDINATOR LOG. THE CONSTRUCTION COORDINATOR SHALL MAINTAIN A LOG OF ANY COMPLAINTS RECEIVED.
7. TREE PROTECTION PLAN. CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE TREE PROTECTION PLAN PREPARED BY WALTER LEVINSON, CONSULTING ARBORIST.
8. LOT GRADING, MATERIALS, EQUIPMENT AND VEHICLE STORAGE. NO LOT SITE GRADING, PREPARATION, STORAGE, OR PLACEMENT OF CONSTRUCTION MATERIALS, EQUIPMENT, OR VEHICLES SHALL TAKE PLACE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
9. ENCROACHMENT PERMIT. NO CONSTRUCTION ACTIVITY SHALL OCCUR AND NO PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL SHALL BE INSTALLED WITH THE CITY RIGHT-OF-WAY OR AFFECTING THE CITY'S IMPROVEMENTS PRIOR TO OBTAINING AN ENCROACHMENT PERMIT FROM THE CITY.
10. EROSION AND SEDIMENT CONTROL. PRIOR TO THE ISSUANCE OF BUILDING PERMITS, AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED THAT SHOWS EFFECTIVE BEST MANAGEMENT PRACTICES (BMP) AND EROSION AND SEDIMENT CONTROL MEASURES FOR THE SITE.
11. CONSTRUCTION MATERIAL STORAGE. CONSTRUCTION MATERIAL SHALL NOT BE STORED IN THE STREET RIGHT-OF-WAY WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
(PUBLIC WORKS DEPARTMENT)
12. CONSTRUCTION TRAILERS. TEMPORARY CONSTRUCTION TRAILERS ARE PERMITTED AS ACCESSORY USES IN CONJUNCTION WITH THE DEVELOPMENT OF THIS SITE.
13. STREET SWEEPING. THE STREETS IN THE VICINITY OF THE PROJECT SHALL BE SWEEPED DAILY OR AS NECESSARY TO KEEP THEM FREE OF DUST AND DEBRIS ASSOCIATED WITH SITE CONSTRUCTION.
14. STREET MAINTENANCE. ADJACENT STREETS SHALL BE MAINTAINED IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES, AND TO THE SATISFACTION OF THE CITY ENGINEER.
15. STREET RESTORATION. ANY DAMAGE CAUSED TO THE ADJACENT STREETS SHALL COMPLY TO THE APPROVED ENGINEERING STANDARDS FOR STREET RESTORATION.
16. FIRE ACCESS ROADS. FIRE ACCESS ROADS SHALL BE INSTALLED PRIOR TO STORAGE OF COMBUSTIBLES ON THE PROJECT SITE TO THE SATISFACTION OF THE FIRE MARSHALL.
17. HAZARDOUS MATERIALS. ANY MATERIALS DEEMED HAZARDOUS BY THE SAN MATEO COUNTY DEPARTMENT OF HEALTH THAT ARE UNCOVERED OR DISCOVERED DURING THE COURSE OF WORK UNDER THIS PERMIT SHALL BE DISPOSED IN ACCORDANCE WITH REGULATIONS OF THE SAN MATEO COUNTY OF HEALTH.
18. COMPLETION OF UTILITIES. ANY PUBLIC UTILITIES REQUIRING RELOCATION AS A RESULT OF THE CONSTRUCTION OF IMPROVEMENTS OR FUTURE STRUCTURES UNDER THIS PERMIT SHALL BE RELOCATED AT THE OWNER'S EXPENSE.
19. NOTICE OF DISRUPTION. THE PERMITTEE SHALL PROVIDE WRITTEN NOTICE TO AFFECTED PROPERTY AND BUSINESS OWNERS AND A COPY OF SUCH NOTICE TO THE CITY ENGINEER A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY PLANNED DISRUPTION OF PEDESTRIAN OR VEHICULAR TRAFFIC, PARKING, OR PUBLIC SERVICE FACILITIES.
20. AIR QUALITY BEST MANAGEMENT PRACTICES. THE PROJECT SHALL IMPLEMENT THE FOLLOWING STANDARD BAAQMD DUST CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION ON THE PROJECT SITE:
a. ALL ACTIVE CONSTRUCTION AREAS SHALL BE WATERED TWICE DAILY OR MORE OFTEN IF NECESSARY.
b. COVER STOCKPILES OF DEBRIS, SOIL, SAND, AND ANY OTHER MATERIALS THAT CAN BE WINDBLOWN.
c. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS AND PARKING AND STAGING AREAS AT CONSTRUCTION SITES.
d. COVER STOCKPILES OF DEBRIS, SOIL, SAND, AND ANY OTHER MATERIALS THAT CAN BE WINDBLOWN.
e. ALL VISIBLE MUD OR DIRT TRACK-OUT ONTO ADJACENT PUBLIC ROADS SHALL BE REMOVED USING WET PAPER VACUUM STREET SWEEPERS AT LEAST ONCE PER DAY OR AS OFTEN AS NECESSARY TO KEEP THEM FREE OF DUST AND DEBRIS ASSOCIATED WITH SITE CONSTRUCTION.
f. SUBSEQUENT TO CLEARING, GRADING, OR EXCAVATING, EXPOSED PORTIONS OF THE SITE SHALL BE WATERED, LANDSCAPED, TREATED WITH SOIL STABILIZERS, OR COVERED AS SOON AS POSSIBLE.
g. INSTALLATION OF SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
h. REPLANTING OF VEGETATION IN DISTURBED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF CONSTRUCTION.
i. IDLING TIMES SHALL BE MINIMIZED EITHER BY SHUTTING EQUIPMENT OFF WHEN NOT IN USE OR REDUCING THE MAXIMUM IDLING TIME TO FIVE MINUTES.
j. POST A PUBLICLY VISIBLE SIGN WITH THE TELEPHONE NUMBER AND PERSON TO CONTACT AT THE CITY OF HALF MOON BAY REGARDING DUST COMPLAINTS.
21. BMPs. ADHERE TO ALL RELEVANT BMP'S PER CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) BMP HANDBOOK, LATEST EDITION.
22. STOCKPILES. STOCKPILES OF SOIL AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED.
23. DUST CONTROL. ALWAYS PROVIDE SUFFICIENT DUST CONTROL MEASURES FOR THE ENTIRE PROJECT.
24. HAULING TRUCKS. ALL TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPULAINS OR EQUAL.
25. ADDITIONAL CONDITIONS OF APPROVAL FOR GRADING PERMIT. ADDITIONAL CONDITIONS OF APPROVAL WILL BE APPLIED TO ANY FUTURE GRADING PERMIT AT THE DISCRETION OF THE CITY ENGINEER.
D. THE FOLLOWING CONDITIONS SHALL BE ADDRESSED IN COASTAL DEVELOPMENT PERMITS FOR FUTURE DEVELOPMENT OF THE SUBDIVIDED LOTS:
1. SECURING OF MEASURE D CERTIFICATE. THE APPLICANT SHALL SECURE MEASURE D CERTIFICATES FOR EACH PROPOSED DWELLING UNIT PRIOR TO SUBMITTAL FOR COASTAL DEVELOPMENT PERMIT(S).
2. ADDITIONAL CONDITIONS OF APPROVAL FOR COASTAL DEVELOPMENT PERMIT. ADDITIONAL CONDITIONS OF APPROVAL WILL BE APPLIED TO ALL FUTURE COASTAL DEVELOPMENT PERMITS FOR DEVELOPMENT OF THE RESIDENTIAL LOTS WITHIN THE SUBDIVISION.
E. THE FOLLOWING CONDITIONS SHALL BE IMPLEMENTED FOR THE BUILDING PERMIT:
1. VALID MEASURE D CERTIFICATE. NO BUILDING PERMIT SHALL BE ISSUED UNLESS THE MEASURE D CERTIFICATE ISSUED FOR THE PROPERTY HAS NOT EXPIRED AND REMAINS VALID TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR.
2. LOT RETIREMENTS. AS PART OF THIS APPLICATION AND PROJECT DESCRIPTION, THE APPLICANT HAS PURCHASED TEN (10) LEGAL LOTS WITHIN THE SAN MATEO COUNTY MIDCOAST AREA PURSUANT TO REQUIREMENTS OF THE 2014 COASTAL DEVELOPMENT PERMIT ISSUED BY THE COASTAL COMMISSION.
3. FIRST FLOOR HEIGHT VERIFICATION. PRIOR TO BELOW FLOOR FINING OR CONCRETE SLAB STEEL REINFORCEMENT INSPECTION, A STAMPED AND SIGNED BUILDING HEIGHT VERIFICATION LETTER SHALL BE SUBMITTED TO THE CITY FROM A LICENSED LAND SURVEY CERTIFYING THAT THE FIRST-FLOOR HEIGHT AS CONSTRUCTED IS AT AN ELEVATION OF AT LEAST 60 FEET.
4. STRUCTURAL ROOF HEIGHT VERIFICATION. PRIOR TO ROOF SHEATHING INSPECTION, A STAMPED AND SIGNED BUILDING HEIGHT VERIFICATION LETTER SHALL BE SUBMITTED TO THE CITY FROM A LICENSED LAND SURVEY CERTIFYING THAT THE HIGHEST TOP ELEVATION OF THE ROOF, PEAK, OR RIDGE FIRST FLOOR HEIGHT AS CONSTRUCTED IS EQUAL TO (OR LESS THAN) THE ELEVATION SPECIFIED IN THE APPROVED PLANS.
5. FIRE CLEARANCE REQUIREMENTS. THE PERMITTEE SHALL COMPLY WITH ALL APPLICABLE FIRE AND BUILDING CODES AND STANDARDS RELATING TO FIRE AND PANIC SAFETY AS IDENTIFIED BY THE COASTSIDE FIRE PROTECTION DISTRICT DURING THE BUILDING PERMIT PROCESS.
6. COMPLETION OF DRAINAGE IMPROVEMENTS. ALL SURFACE AND SUBSURFACE STORM DRAINAGE FACILITIES NECESSARY FOR THE DEVELOPMENT OF THIS PARCEL SHALL BE CONSTRUCTED PURSUANT TO THE APPROVED LOT DRAINAGE PLAN.
7. STORM WATER MAINTENANCE AGREEMENT. THIS PROJECT INCLUDES STORM WATER SITE DESIGN, TREATMENT CONTROL MEASURES, AND/OR HYDRO MODIFICATION MANAGEMENT CONTROLS.
8. SEWER CONNECTION FEE. THE PROPOSED DEVELOPMENT IS SUBJECT TO A SEWER CONNECTION FEE PURSUANT TO SECTION 13.36.070 OF THE HALF MOON BAY MUNICIPAL CODE.
9. TRAFFIC MITIGATION FEE. THE PROPOSED DEVELOPMENT IS SUBJECT TO A TRAFFIC MITIGATION FEE PURSUANT TO 14.35 OF THE HALF MOON BAY MUNICIPAL CODE.
10. ADDITIONAL CONDITIONS OF APPROVAL FOR RESIDENTIAL CONSTRUCTION. ADDITIONAL CONDITIONS OF APPROVAL WILL BE APPLIED TO ALL FUTURE BUILDING PERMITS FOR CONSTRUCTION OF THE RESIDENTIAL DWELLING UNITS WITHIN THE SUBDIVISION.
G. VALIDITY AND EXPIRATION OF PERMITS
1. EFFECTIVE DATE. THIS SITE IS LOCATED WITHIN THE COASTAL APPEAL ZONE.
2. ACCURACY OF APPLICATION MATERIALS. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND ACCURACY OF ALL FORMS AND MATERIAL SUBMITTED FOR THIS APPLICATION.
3. PERMIT EXPIRATION. THE TENTATIVE SUBDIVISION MAP, COASTAL DEVELOPMENT PERMIT, AND USE PERMIT SHALL EXPIRE TWO (2) YEARS FROM THE DATE OF FINAL APPROVAL.
4. PERMIT EXTENSION. THE TENTATIVE SUBDIVISION MAP, COASTAL DEVELOPMENT PERMIT, AND USE PERMIT MAY BE EXTENDED BY THE CITY COUNCIL IN ACCORDANCE WITH TITLE 17 OF THE MUNICIPAL CODE AND THE SUBDIVISION MAP ACT, SECTION 66452.6.
5. PERMIT RUNS WITH THE LAND. THE APPROVAL RUNS WITH THE LAND AND THE RIGHTS AND OBLIGATIONS THEREUNDER, INCLUDING THE RESPONSIBILITY TO COMPLY WITH CONDITIONS OF APPROVAL, SHALL BE BINDING UPON SUCCESSORS IN INTEREST IN THE REAL PROPERTY UNLESS OR UNTIL SUCH PERMITS ARE EXPRESSLY ABANDONED OR REVOKED.
6. HOLD HARMLESS. THE PERMITTEE AGREES AS A CONDITION OF APPROVAL OF THIS APPLICATION TO INDEMNIFY, PROTECT, DEFEND WITH COUNSEL SELECTED BY THE CITY, AND HOLD HARMLESS, THE CITY, AND ANY AGENCY OR INSTRUMENTALITY THEREOF, FROM AND AGAINST ALL AND ALL LIABILITIES, CLAIMS, ACTIONS, CAUSES OF ACTION, PROCEEDINGS, SUITS, DAMAGES, JUDGMENTS, LENS, LEVES, COSTS AND EXPENSES OF WHATEVER NATURE, INCLUDING REASONABLE ATTORNEY'S FEES AND DISBURSEMENTS (COLLECTIVELY, "CLAIMS") ARISING OUT OF OR IN ANY WAY RELATING TO THIS APPROVAL OF THIS APPLICATION, ANY ACTIONS TAKEN BY THE CITY RELATED TO THIS ENTITLEMENT, ANY REVIEW BY THE CALIFORNIA COASTAL COMMISSION CONDUCTED UNDER THE CALIFORNIA COASTAL ACT PUBLIC RESOURCES CODE SECTION 30000 ET SEQ., OR ANY ENVIRONMENTAL REVIEW CONDUCTED UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, PUBLIC RESOURCES CODE SECTION 210000 ET SEQ., FOR THIS ENTITLEMENT AND RELATED ACTIONS. THE INDEMNIFICATION SHALL INCLUDE ANY CLAIMS THAT MAY BE ASSERTED BY ANY PERSON OR ENTITY, INCLUDING THE PERMITTEE, ARISING OUT OF OR IN CONNECTION WITH THE APPROVAL OF THIS APPLICATION, WHETHER OR NOT THERE IS CONCURRENT, PASSIVE OR ACTIVE NEGLIGENCE ON THE PART OF THE CITY, AND ANY AGENCY OR INSTRUMENTALITY THEREOF, AND ITS ELECTED AND APPOINTED OFFICIALS, OFFICERS, EMPLOYEES AND AGENTS. THE PERMITTEE'S DUTY TO DEFEND THE CITY SHALL NOT APPLY IN THOSE INSTANCES WHEN THE PERMITTEE HAS ASSERTED THE CLAIMS, ALTHOUGH THE PERMITTEE SHALL STILL HAVE A DUTY TO INDEMNIFY, PROTECT AND HOLD HARMLESS THE CITY. (CITY ATTORNEY).

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PLOT DATE: 06-23-23
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255 SHORELINE DR., SUITE 200 REDWOOD CITY, CA 94065
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CONDITIONS OF APPROVAL
CREEKSIDE COURT SUBDIVISION
320 CHURCH STREET
SAN MATEO COUNTY
CALIFORNIA

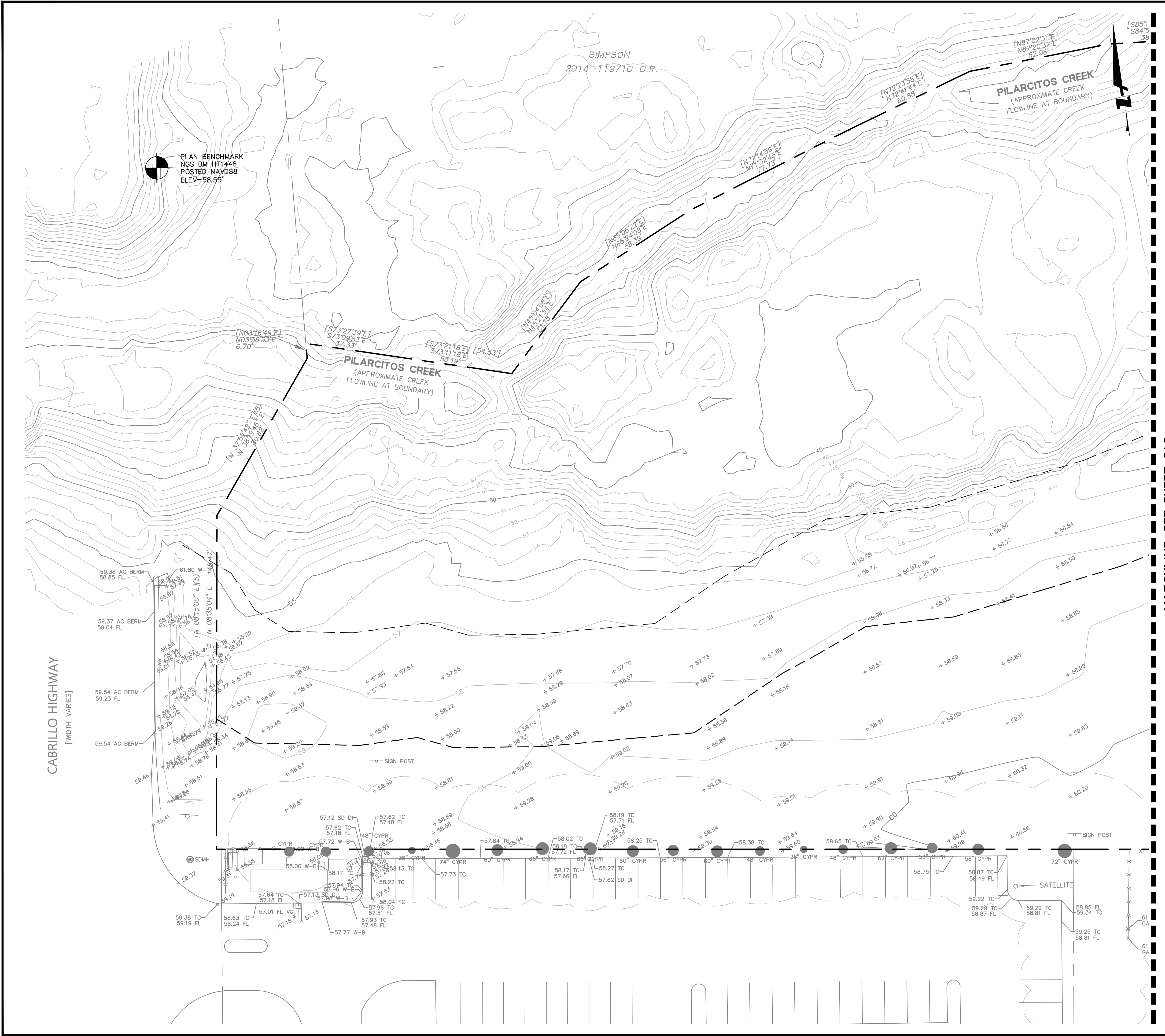


Table with 5 columns: Date, Revisions, No., Scale, Job No.
Date: 04/05/2019, 09/02/2022, 01/09/2023, 04/26/2023, 05/16/2023, 06/23/2023
Revisions: REVISIONS, REVISIONS, PLAN CHECK - COWD, PLAN CHECK REVISIONS, PLAN CHECK - COWD
No.: 04, 05, 06, 07, 08
Scale: NO SCALE, Design D/L, Drawn DJP/NK, Approved RH
Job No: 20180123



No.	Revisions	Date
1	REVISIONS	09/02/2022
2	REVISIONS	01/09/2023
3	PLAN CHECK - COWD	04/26/2023
4	PLAN CHECK REVISIONS	05/16/2023
5	PLAN CHECK - COWD	06/23/2023

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PLOT DATE: 06-23-23  
PLOTTED BY: wort



**EXISTING CONDITIONS:**

1. EXISTING TOPOGRAPHIC SURVEY PERFORMED BY BKF ENGINEERS SURVEYING ON NOV. 30, 2018 (JOB #180123). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
2. EXISTING CONTOURS SHOWN IN AREA OF PILARCITOS CREEK WERE CREATED FROM SAN MATEO COUNTY POINT CLOUD INFORMATION.

**BOUNDARY RESOLUTION NOTES:**

1. PROJECT BOUNDARY AND PROPERTY LINES DETERMINED BY OTHERS AND SHOWN FOR REFERENCE ONLY.
2. SEE FINAL MAP PREPARED BY BGT LAND SURVEYING, DATED APRIL 2017 FOR BOUNDARY RESOLUTION.

**BENCHMARK STATEMENT:**

THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED UPON THE FOUND NGS BENCHMARK PID HT1448, A BRASS DISK IN SIDEWALK STAMPED "CALIF. DEPT. OF TRANSPORTATION AR-693".  
NAVD 88 ELEVATION = 58.55 FEET.

**BASIS OF BEARINGS:**

THE BEARING OF NORTH 08°31'00" EAST ALONG THE CENTERLINE OF CHURCH STREET WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

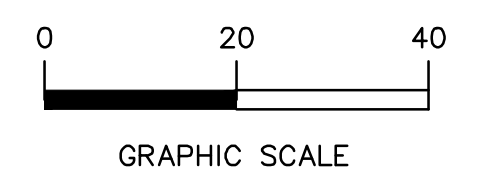
**UTILITY NOTE:**

THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY LINES SHOWN HEREON OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.

**LINE LEGEND:**

	BUILDING LINE
	WATER LINE
	GAS LINE
	SANITARY SEWER LINE
	ELECTRICAL LINE
	FENCE LINE
	MONUMENT LINE
	PERIMETER BOUNDARY LINE
	LOT LINE
	EASEMENT LINE
	TIE LINE

MATCHLINE: SEE SHEET C1.2

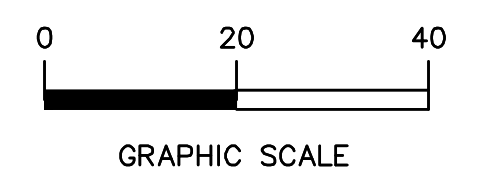
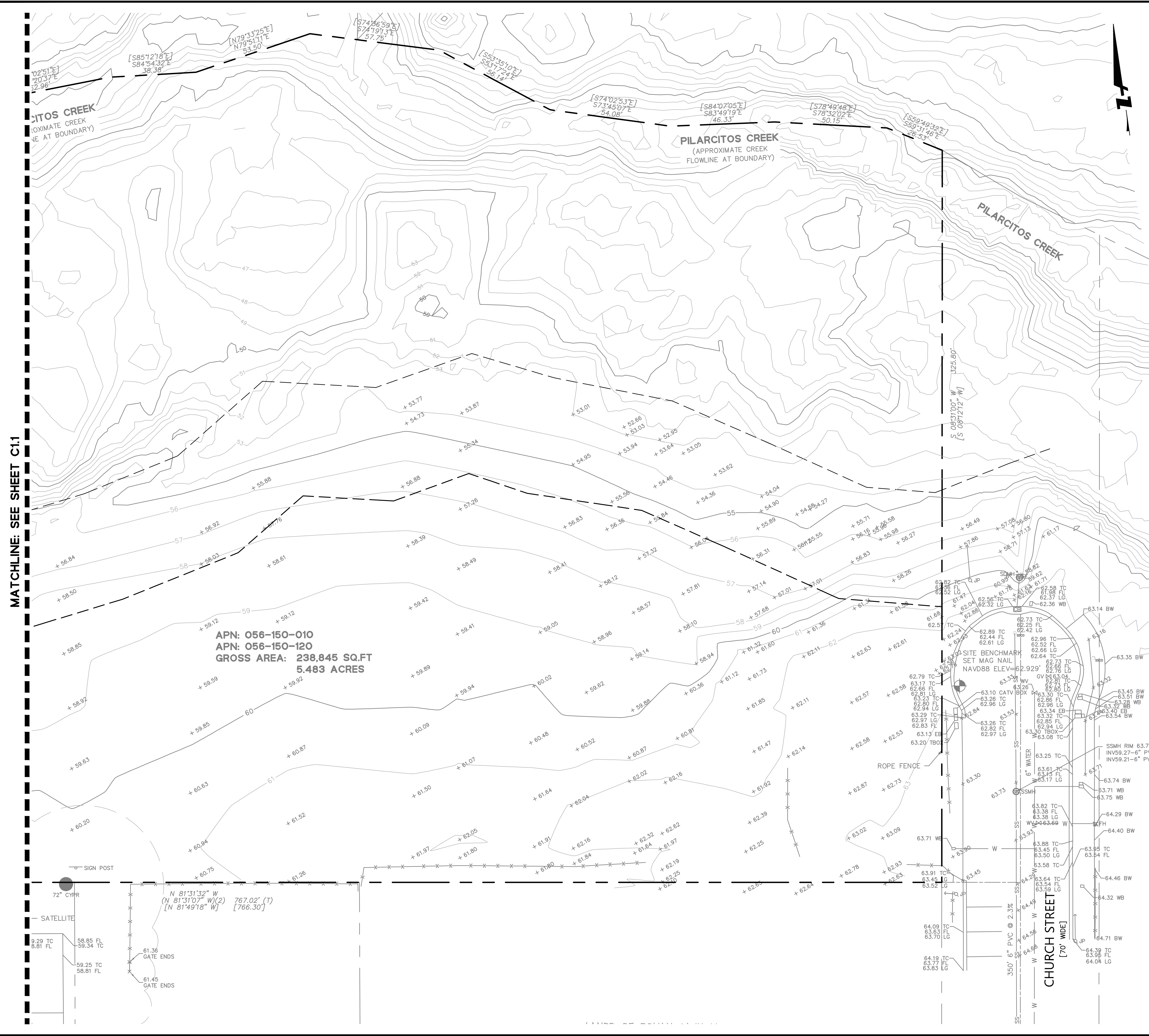


**SURVEY SHOWN FOR REFERENCE ONLY**



Date	Revisions	No.	Date
09/02/2022	REVISIONS		
01/09/2023	REVISIONS		
04/26/2023	PLAN CHECK - COWD		
05/16/2023	PLAN CHECK REVISIONS		
06/23/2023	PLAN CHECK - COWD		

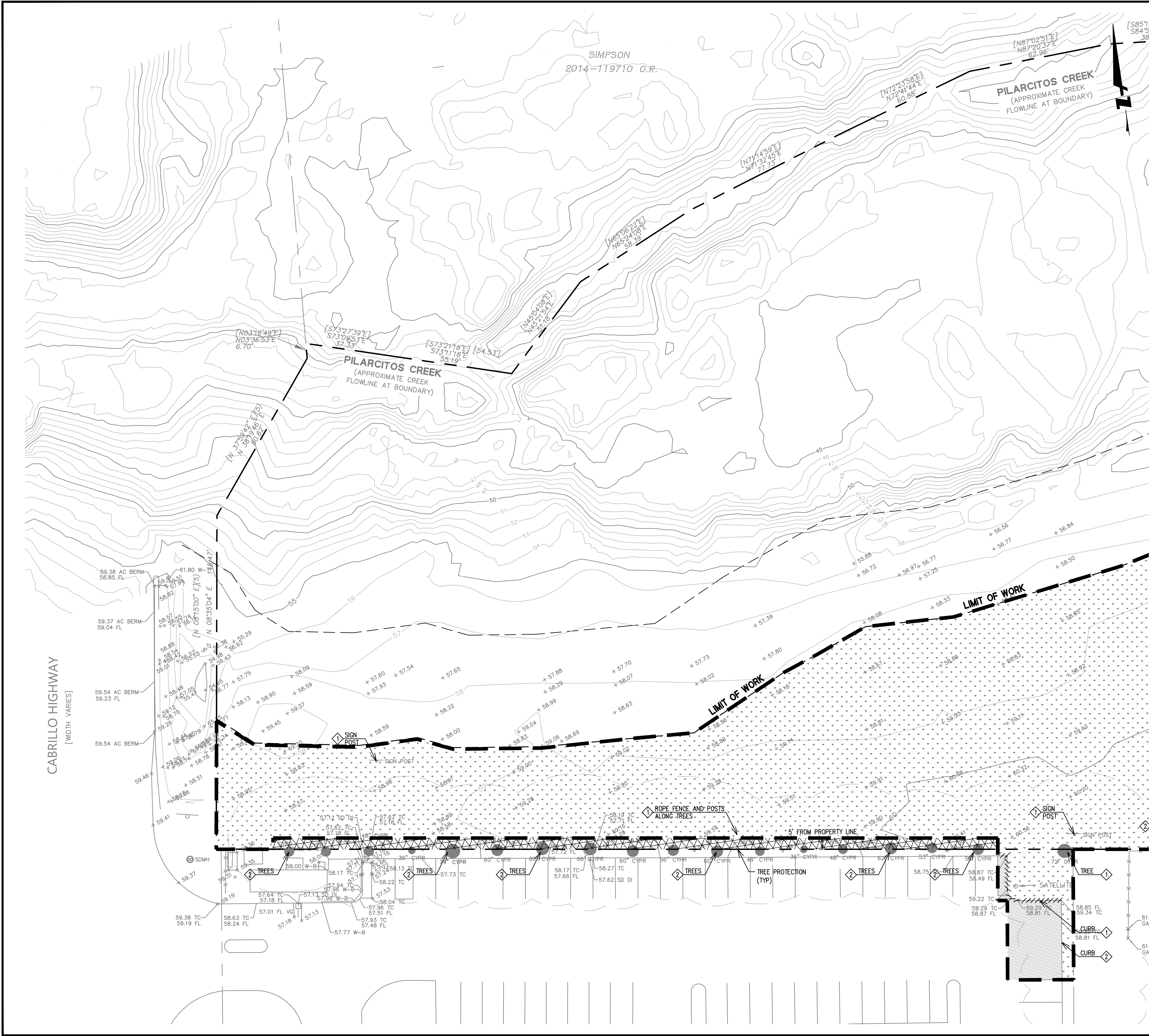
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PLOT DATE: 06-23-23  
PLOTTED BY: wort



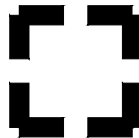
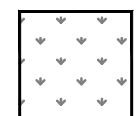
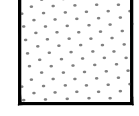
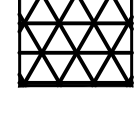


**SURVEY SHOWN FOR  
REFERENCE ONLY.**

Drawing Number:  
**C1.2**  
OF

DRAWING NAME: \\BKF-rs\dat\2018\180123\_320\_Church\_Street\ENG\chsheets.dwg  
PLOT DATE: 06-23-23  
PLOTTED BY: wort



**DEMOLITION LEGEND:**

-  LIMIT OF WORK
-  EXISTING LANDSCAPED AREAS
-  EXISTING AC PAVING
-  TREE PROTECTION
-  TO BE REMOVED
-  TO REMAIN, PROTECT IN PLACE

WITHIN THE LIMIT OF WORK LINE ALL ITEMS NOT CALLED OUT TO BE REMOVED ARE TO REMAIN AND MUST BE PROTECTED IN PLACE. CONTRACTOR TO USE CAUTION AROUND (E) UTILITIES, UTILITY VAULTS AND WATER VALVES TO REMAIN.

REMOVE ALL TREES, SHRUBS, AND GRASS INCLUDING ALL ROOT MASS UNLESS OTHERWISE SPECIFIED. COORDINATE WITH CLIENT PRIOR TO REMOVING ANY TREES. IRRIGATION LINES TO BE REPAIRED TO THE EXTENTS OF NEW PLANTING AND IRRIGATION CONSTRUCTION.

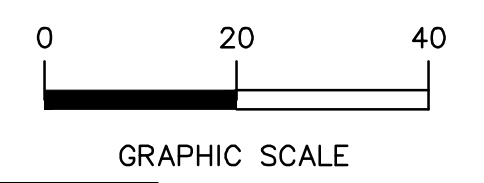
(E)AC PAVEMENT AND BASE ROCK TO BE REMOVED. BASE ROCK UNDER AC PAVEMENT CAN BE REUSED IF APPROVED BY GEOTECHNICAL ENGINEER. ALL EDGES TO BE SAWCUT WITH A CLEAN EDGE.

TREE PROTECTION AREA. SEE ARBORIST NOTES ON SHEET C4.1.

**DEMOLITION NOTES:**

1. CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
2. THE CONTRACTOR SHALL LOCATE AND CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION.
3. CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
6. CONTRACTOR SHALL PAY DISPOSAL FEES.
7. BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
8. WITHIN LIMITS OF WORK, REMOVE CURBS, GUTTERS, LANDSCAPING, SIGNAGE, TREES, SHRUBS, ASPHALT, UNDERGROUND PIPES, ETC. AS INDICATED ON THE DRAWINGS.
9. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
10. PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING ALL DEMOLITION MATERIALS, OR STORING SELECTED ITEM BY OWNER AT DESIGNATED LOCATIONS.
12. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
13. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
14. COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE OWNER. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
15. DEMOLITION INCLUDES REMOVAL OF ALL ITEMS ASSOCIATED WITH THE UTILITY, RETAINING WALL, FENCE, TREE OR BUILDING, INCLUDING BUT NOT LIMITED TO FOOTINGS, VALVES, ROOTS, BACKFILL, ETC. AND SHALL INCLUDE PREPARING THE SITE FOR NEW UTILITIES, BUILDINGS, RETAINING WALLS, ETC.
16. ALL MATERIALS TO BE DEMOLISHED AND REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
17. THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

MATCHLINE: SEE SHEET C1.4



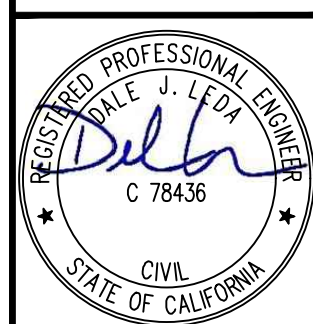
**SEE SHEET CO.0 FOR LEGEND AND ABBREVIATIONS. SEE SHEETS CO.1-CO.3 FOR NOTES**



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**DEMOLITION & TREE PROTECTION PLAN**  
**CREEKSIDE COURT SUBDIVISION**  
**320 CHURCH STREET**  
 SAN MATEO COUNTY  
 CALIFORNIA

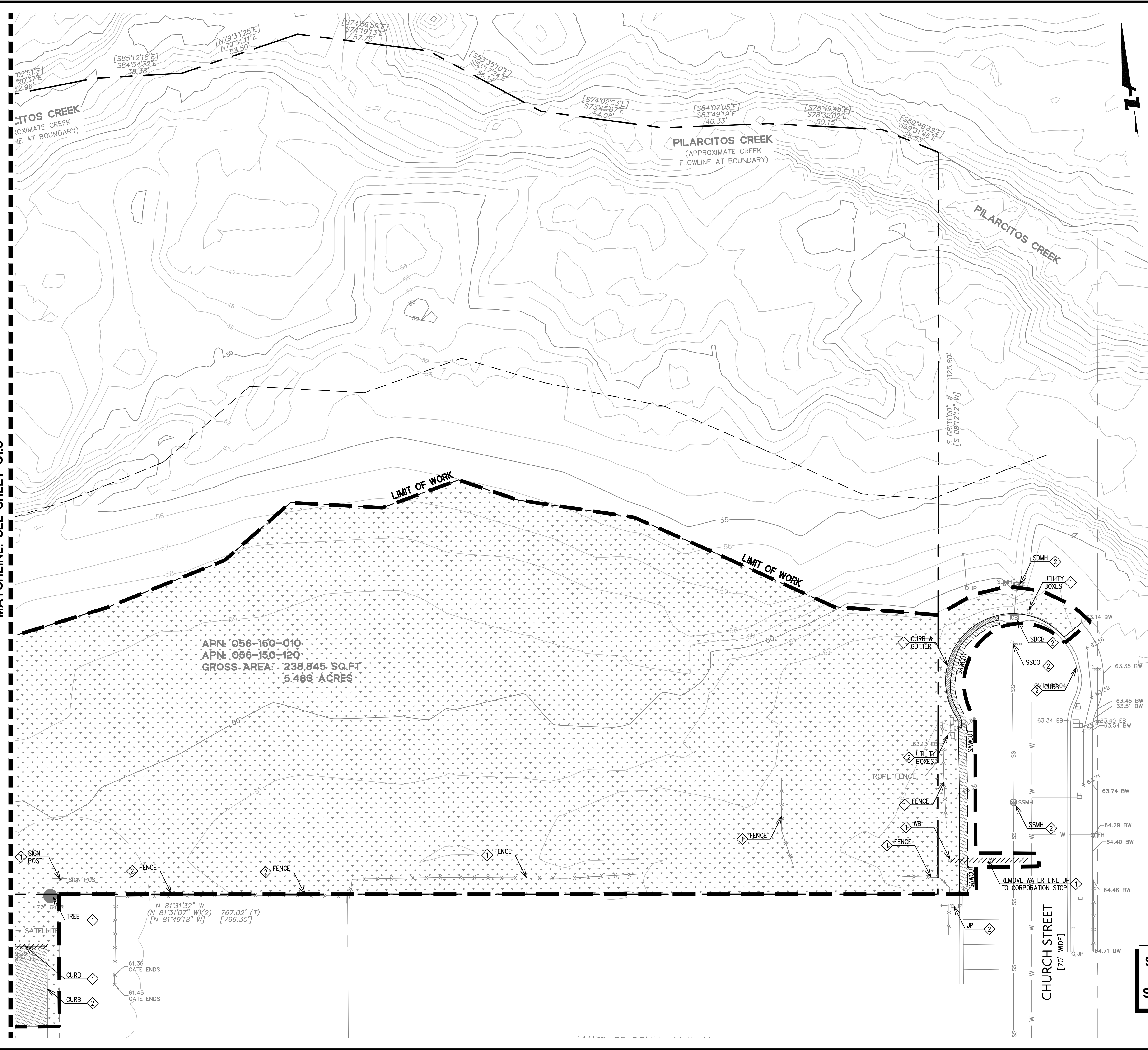


Date	Revisions	No.
09/02/2022	REVISIONS	1
01/09/2023	REVISIONS	2
04/26/2023	PLAN CHECK - COWD	3
05/16/2023	PLAN CHECK REVISIONS	4
06/23/2023	PLAN CHECK - COWD	5

Date: 04/05/2019  
 Scale: 1" = 20'  
 Design: D.J.L.  
 Drawn: D.J.P./N.K.  
 Approved: R.H.  
 Job No: 20180123  
 Drawing Number: **C1.3**  
 OF

DRAWING NAME: \\BKF-r\c\dat\2018\180123\_320\_Church\_Street\ENG\chsheets.dwg  
PLOT DATE: 06-23-23  
PLOTTED BY: wort

MATCHLINE: SEE SHEET C1.3



**DEMOLITION LEGEND:**

- LIMIT OF WORK
- EXISTING LANDSCAPED AREAS
- EXISTING AC PAVING
- EXISTING CONCRETE PAVING
- TREE PROTECTION TREE PROTECTION AREA
- TO BE REMOVED
- TO REMAIN, PROTECT IN PLACE

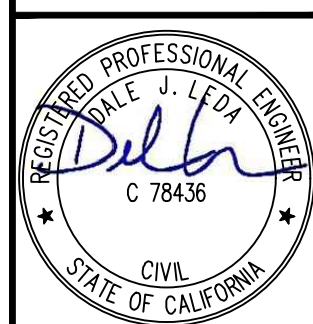
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**SEE SHEET CO.0 FOR LEGEND AND ABBREVIATIONS. SEE SHEETS CO.1-CO.3 FOR NOTES**



**DEMOLITION & TREE PROTECTION PLAN**  
**CREEKSIDE COURT SUBDIVISION**  
**320 CHURCH STREET**  
 SAN MATEO COUNTY  
 HALF MOON BAY  
 CALIFORNIA

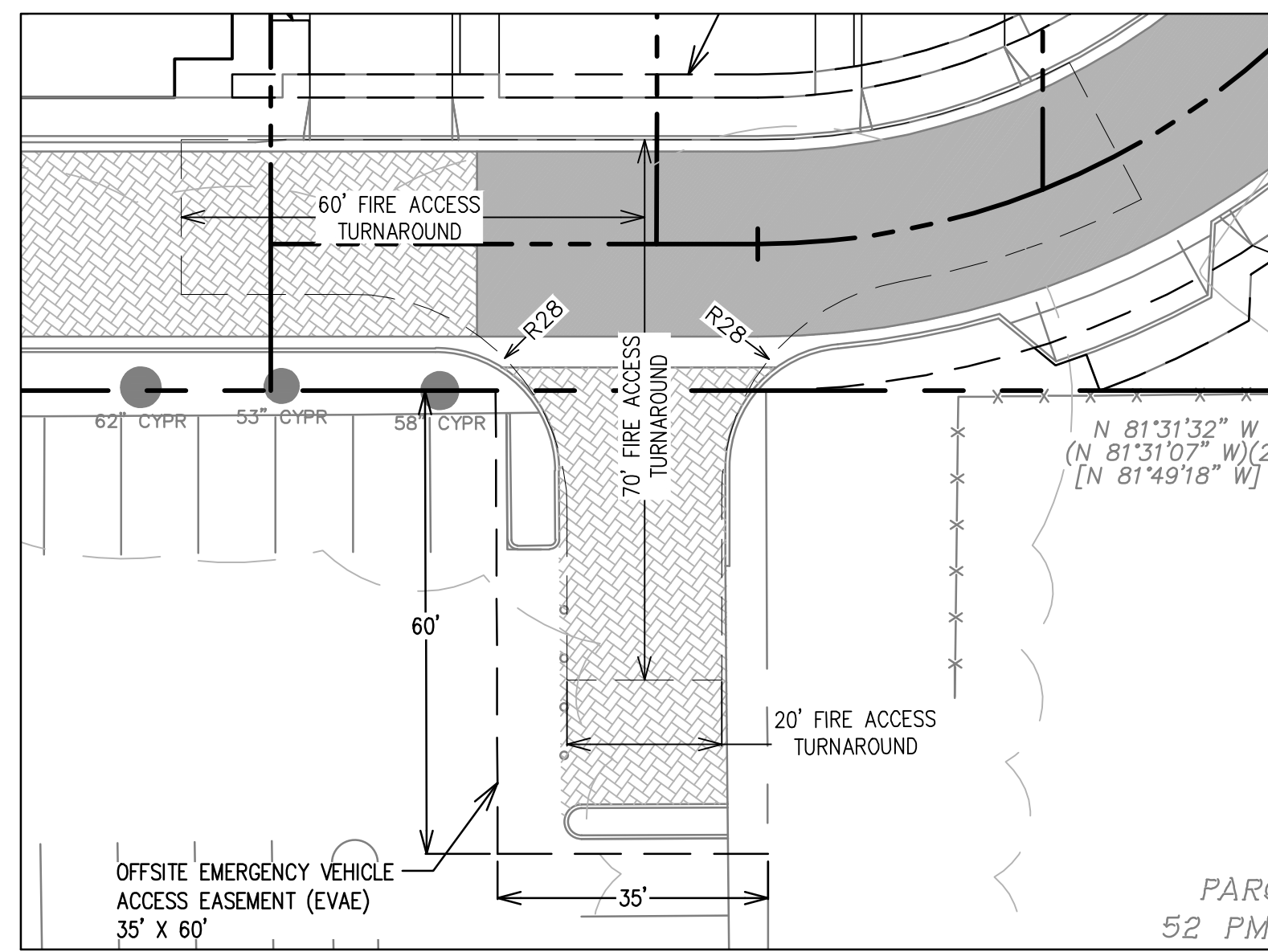


Revisions	Date
REVISIONS	09/02/2022
REVISIONS	01/09/2023
PLAN CHECK - COWD	04/26/2023
PLAN CHECK REVISIONS	05/16/2023
PLAN CHECK - COWD	06/23/2023

Drawing Number: **C1.4**  
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DRAWING NAME: \\BKF-rs\c\dat\2018\180123\_320\_Church\_Street\ENG\chsheets.dwg PLOT DATE: 06-23-23 PLOTTED BY: wort



**FIRE TRUCK TURNAROUND**

LINE TABLE		
LINE NO.	LENGTH	DIRECTION
L1	62.20'	N81°31'29"W
L2	9.53'	S58°58'17"W
L3	9.53'	N05°47'04"E
L4	16.86'	N36°31'28"W
L5	17.57'	N81°31'29"W
L6	16.89'	S53°28'50"W
L7	9.53'	S11°26'55"W
L8	9.53'	N41°44'19"W
L9	12.78'	S08°28'28"W
L10	16.44'	S07°58'08"W
L11	4.22'	S82°01'52"E
L12	8.93'	N07°58'08"E
L13	150.80'	N81°31'32"W
L14	27.00'	N08°31'00"E
L15	18.00'	S81°31'32"E
L16	1.00'	N08°31'00"E
L17	15.51'	S81°31'32"E
L18	17.50'	N08°28'28"E
L19	9.00'	S81°31'32"E
L20	18.79'	S08°29'09"W
L21	74.99'	S81°31'32"E
L22	4.01'	S85°41'46"E
L23	61.05'	S81°31'32"E
L24	16.89'	N53°28'50"E
L25	17.57'	S81°31'29"E
L26	16.86'	S36°31'28"E
L27	62.10'	S81°31'28"E
L28	28.47'	N07°39'46"E

CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA
C1	15.67'	10.00'	89°48'14"
C2	32.34'	113.50'	16°19'25"
C3	21.44'	121.50'	10°06'33"
C4	26.78'	113.50'	13°31'07"
C5	67.94'	86.50'	45°00'00"
C6	67.93'	86.50'	44°59'41"
C7	27.33'	113.50'	13°47'43"
C8	21.44'	121.50'	10°06'33"
C9	21.38'	113.50'	10°47'30"
C10	23.67'	16.00'	84°45'04"
C11	1.96'	1.25'	90°00'00"
C12	1.96'	1.25'	90°00'00"
C13	24.99'	16.00'	89°29'39"
C14	7.85'	5.00'	89°57'28"
C15	7.86'	5.00'	90°02'32"
C16	67.93'	86.50'	44°59'38"
C17	89.13'	113.50'	44°59'41"
C18	89.14'	113.50'	45°00'00"
C19	67.94'	86.50'	45°00'00"
C20	15.84'	10.00'	90°46'43"
C21	10.94'	25.00'	25°04'15"
C22	50.58'	28.50'	101°41'13"

\*LINE AND CURVE TABLE SHOWN FOR FACE OF CURB DIMENSIONS

**EASEMENT NOTES:**

- PER THE PROPERTY TITLE REPORT BY LAWYERS TITLE COMPANY, DATED JANUARY 18, 2019, THERE ARE NO EXISTING EASEMENTS ON THE SUBJECT PROPERTY.
- ALL EASEMENTS SHOWN ARE PROPOSED. SEE FINAL MAP FOR DIMENSIONS.
- SEE FINAL MAP FOR LOT LAYOUT.

**BASIS OF BEARINGS:**

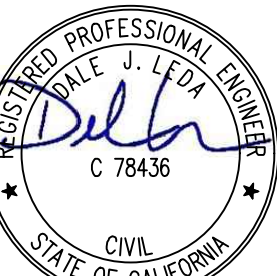
THE BEARING NORTH 08°31'00" EAST ALONG THE CENTERLINE OF CHURCH STREET WAS TAKEN AS THE BASIS OF BEARING



**SEE SHEETS C.O. AND C.O.1 FOR NOTES AND LEGENDS**



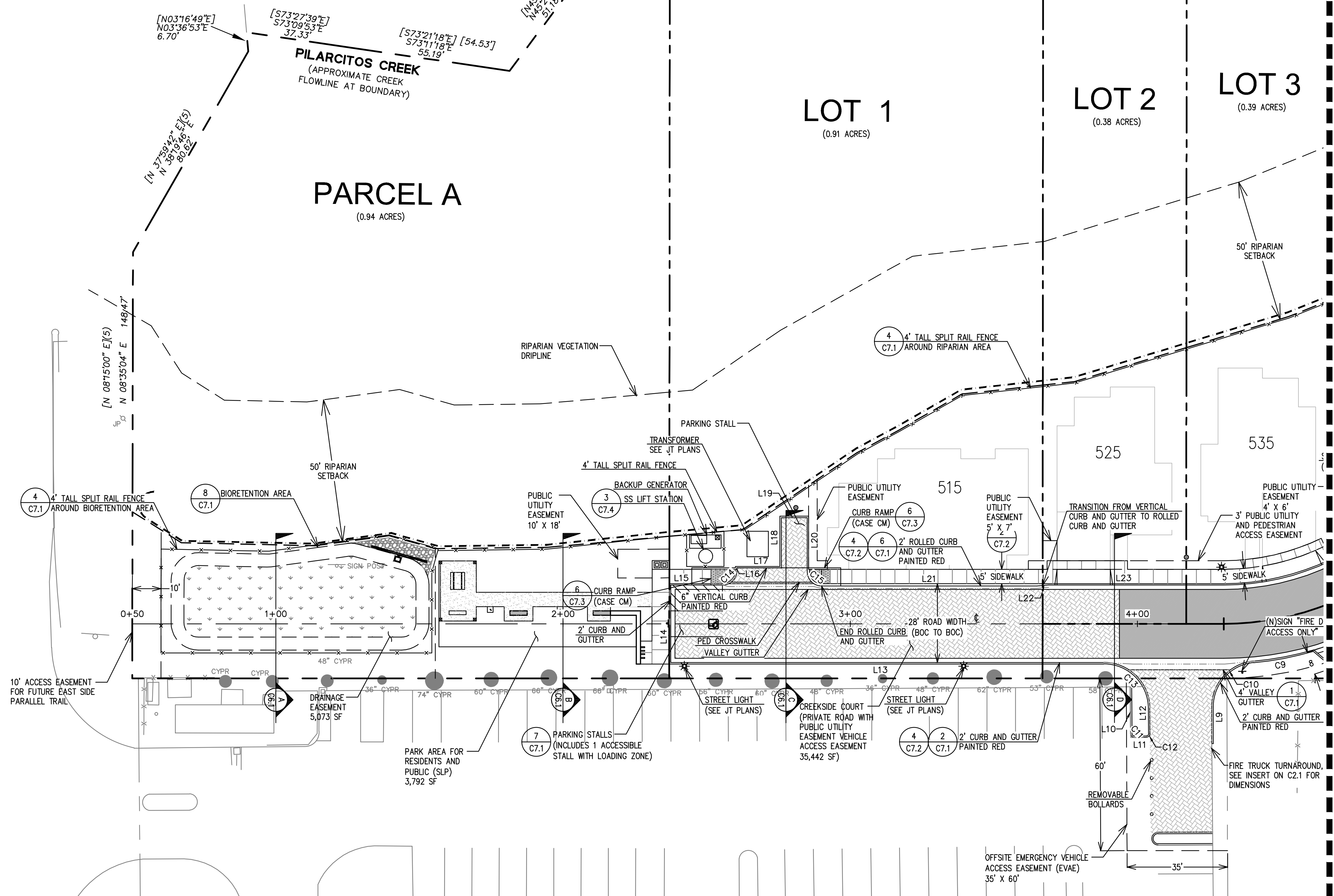
**HORIZONTAL CONTROL PLAN**  
**CREEKSIDE COURT SUBDIVISION**  
**320 CHURCH STREET**  
 SAN MATEO COUNTY CALIFORNIA  
 HALF MOON BAY



Date	Revisions	No.
09/02/2022	REVISIONS	
01/09/2023	REVISIONS	
04/26/2023	PLAN CHECK - COWD	
05/16/2023	PLAN CHECK REVISIONS	
06/23/2023	PLAN CHECK - COWD	

Date: 04/05/2019  
 Scale: 1" = 20'  
 Design: D.J.L.  
 Drawn: D.J.P./N.K.  
 Approved: R.H.  
 Job No: 20180123  
 Drawing Number: **C2.1**  
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MATCHLINE: SEE SHEET C2.2



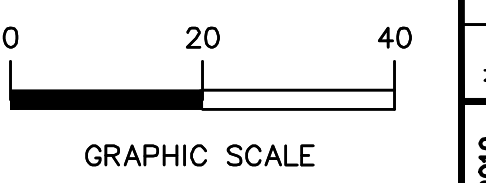
No.	Date	Revisions
1	04/05/2019	DATE
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Approved: R.H.  
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OF

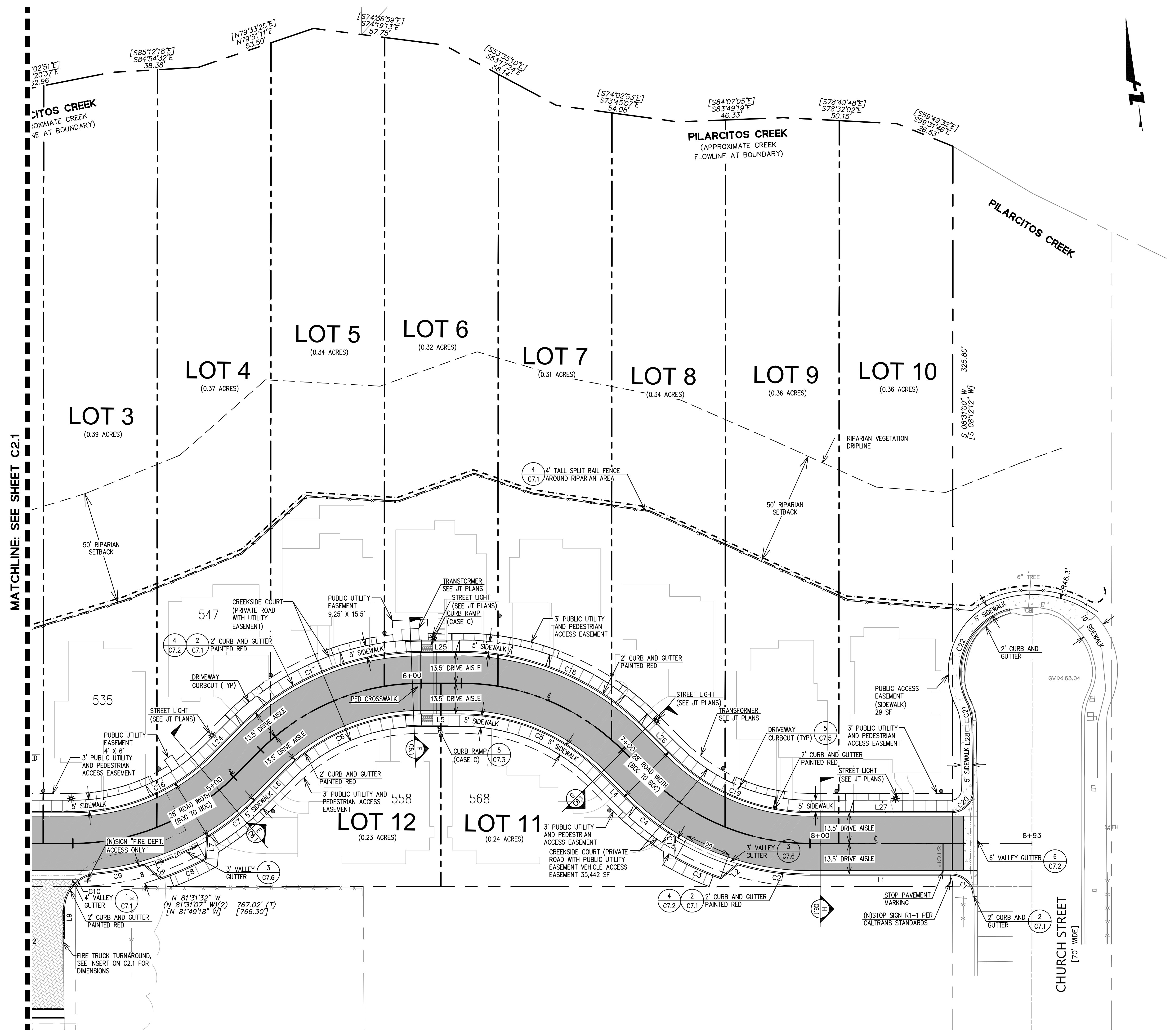
LINE NO.	LENGTH	DIRECTION
L1	62.20'	N81°31'29"W
L2	9.53'	S58°58'17"W
L3	9.53'	N05°47'04"E
L4	16.86'	N36°31'28"W
L5	17.57'	N81°31'29"W
L6	16.89'	S53°28'50"W
L7	9.53'	S11°26'55"W
L8	9.53'	N41°44'19"W
L9	12.78'	S08°28'28"W
L10	16.44'	S07°58'08"W
L11	4.22'	S82°01'52"E
L12	8.93'	N07°58'08"E
L13	150.80'	N81°31'32"E
L14	27.00'	N08°31'00"E
L15	18.00'	S81°31'32"E
L16	1.00'	N08°31'00"E
L17	15.51'	S81°31'32"E
L18	17.50'	N08°28'28"E
L19	9.00'	S81°31'32"E
L20	18.79'	S08°29'09"W
L21	74.99'	S81°31'32"E
L22	4.01'	S85°41'46"E
L23	61.05'	S81°31'32"E
L24	16.89'	N53°28'50"E
L25	17.57'	S81°31'29"E
L26	16.86'	S36°31'28"E
L27	62.10'	S81°31'28"E
L28	28.47'	N07°39'46"E

CURVE NO.	LENGTH	RADIUS	DELTA
C1	15.67'	10.00'	89°48'14"
C2	32.34'	113.50'	161°9'25"
C3	21.44'	121.50'	10°06'33"
C4	26.78'	113.50'	13°31'07"
C5	67.94'	86.50'	45°00'00"
C6	67.93'	86.50'	44°59'41"
C7	27.33'	113.50'	13°47'43"
C8	21.44'	121.50'	10°06'33"
C9	21.38'	113.50'	10°47'30"
C10	23.67'	16.00'	84°45'04"
C11	1.96'	1.25'	90°00'00"
C12	1.96'	1.25'	90°00'00"
C13	24.99'	16.00'	89°29'39"
C14	7.85'	5.00'	89°57'28"
C15	7.86'	5.00'	90°02'32"
C16	67.93'	86.50'	44°59'38"
C17	89.13'	113.50'	44°59'41"
C18	89.14'	113.50'	45°00'00"
C19	67.94'	86.50'	45°00'00"
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C22	50.58'	28.50'	101°41'13"

\*LINE AND CURVE TABLE SHOWN FOR FACE OF CURB DIMENSIONS



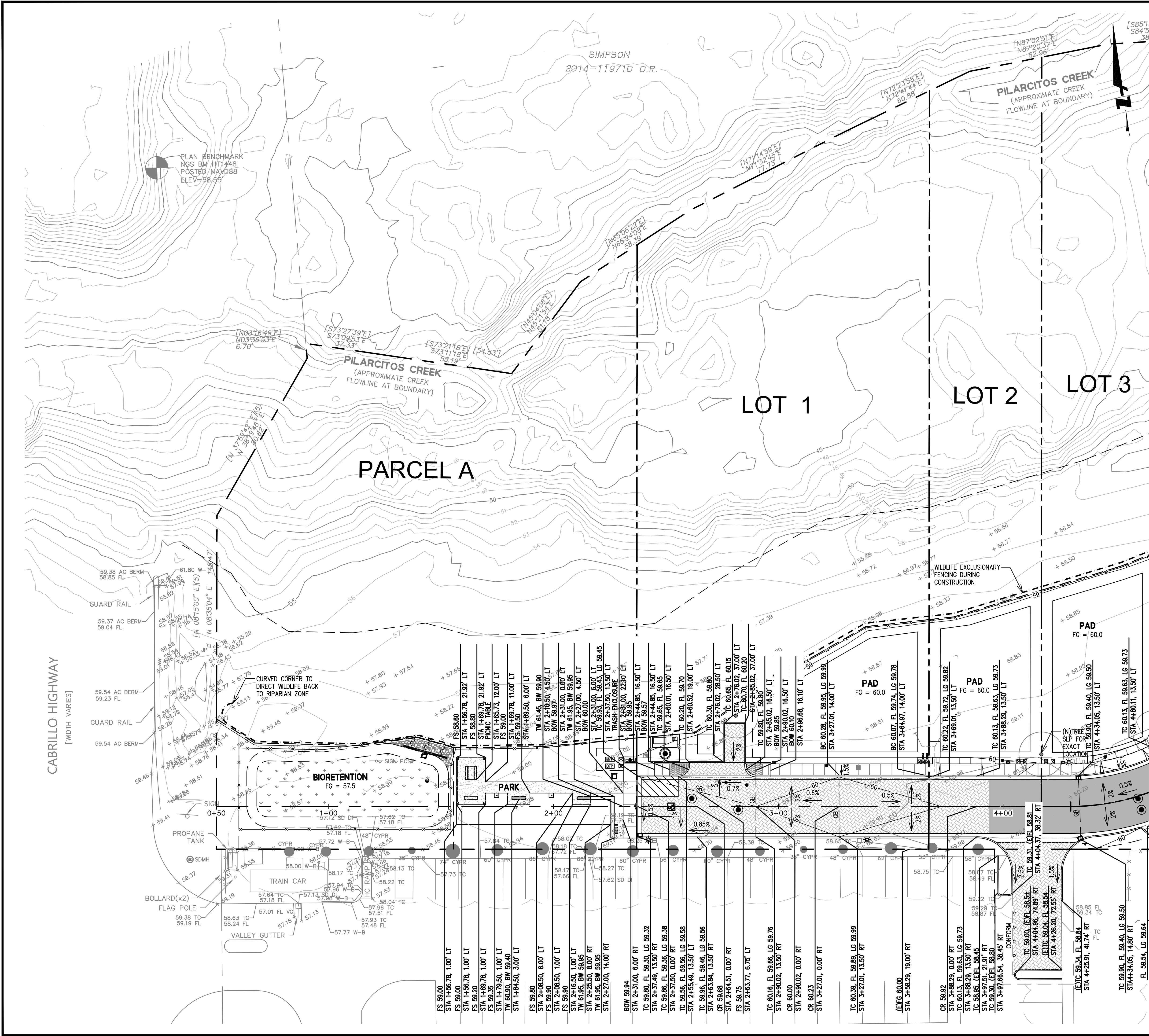
**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**



DRAWING NAME: \\BKF-r\c\data\2018\180123\_320\_Church\_Street\_ENG\_chsheets.dwg  
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MATCHLINE: SEE SHEET C2.1

DRAWING NAME: \\BKF-r-c\dat\2018\180123\_320\_Church\_Street\ENG\_chsheets.dwg  
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PLOTTED BY: wort



**GRADING NOTES:**

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 8 FEET, WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
3. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
4. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
5. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASEROCK OR CONCRETE SURFACING. SEE LANDSCAPING AND JOINT TRENCH PLANS.
6. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
7. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
8. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
9. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
11. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
12. DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-5) OR WOOD MULCHING (EC-8).
13. PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOIL OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

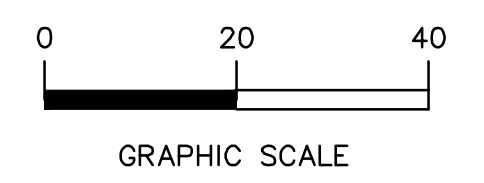
**PAVEMENT LEGEND:**

- SEE GEOTECHNICAL REPORT FOR EXACT RECOMMENDATION FOR GRADING OPERATIONS AND OVEREXCAVATION ON-SITE.
- AC PAVING: 3" AC PAVING OVER 12" OF CALTRANS CLASS 2 AGGREGATE BASE PER GEOTECHNICAL REPORT.
  - PERMEABLE INTERLOCKING CONCRETE PAVERS: 3" PERMEABLE CONCRETE PAVERS OVER 2" SAND BEDDING OVER 6" CALTRANS CLASS II PERMEABLE OVER NATIVE SOIL REINFORCED WITH TENSAR GEOGRID (BX 1100)
  - CONCRETE PAVING/SIDEWALK: 4" CLASS A CONCRETE OVER 4" CLASS II AGGREGATE BASE. SEE CITY OF HALF MOON BAY STANDARD DETAIL SI-3A.
  - STABILIZED DECOMPOSED GRANITE: 3" DECOMPOSED GRANITE STABILIZED WITH STAYLOK FIBER ADMIX OVER 6" CALTRANS CLASS II AGGREGATE BASE. SEE LANDSCAPE PLANS FOR FINISH AND HEADER DETAIL.
  - ONSITE BIORETENTION AREA: SEE ONSITE BIORETENTION DETAIL ON SHEET C7.1. SEE LANDSCAPE PLAN FOR PLANTING.

**PAVEMENT NOTES:**

1. PAVEMENT SECTION TO BE APPROVED BY GEOTECHNICAL ENGINEER
2. COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
3. SEE LANDSCAPE PLANS FOR ALL WALKWAY FINISHES AND MATERIALS.

**SEE SHEETS C.O. AND C.O.1 FOR NOTES AND LEGENDS**



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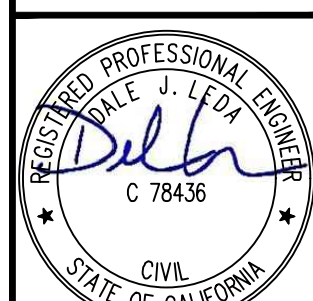
**GRADING PLAN**  
**CREEKSIDE COURT SUBDIVISION**  
**320 CHURCH STREET**  
SAN MATEO COUNTY  
CALIFORNIA

HALF MOON BAY

REGISTERED PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
CIVIL  
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Date	Revisions	No.
09/02/2022	REVISIONS	
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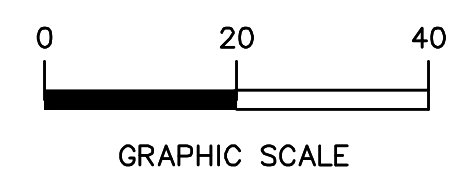
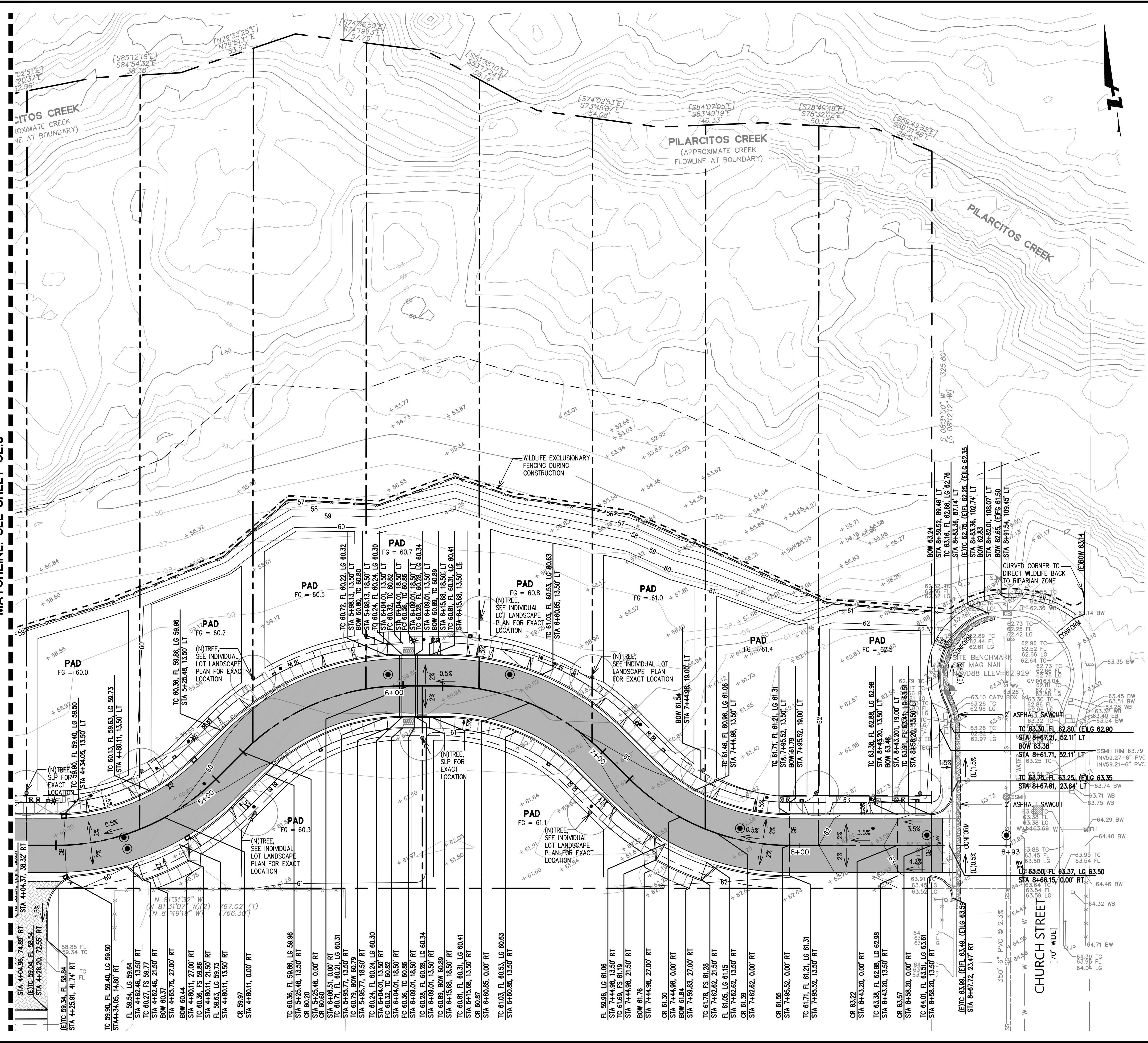
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Drawn: D.J.P./N.K.  
Approved: R.H.  
Job No: 20180123  
Drawing Number: **C2.3**  
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Date	Revisions	No.
09/02/2022	REVISIONS	
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04/26/2023	PLAN CHECK - COWD	
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MATCHLINE: SEE SHEET C2.3

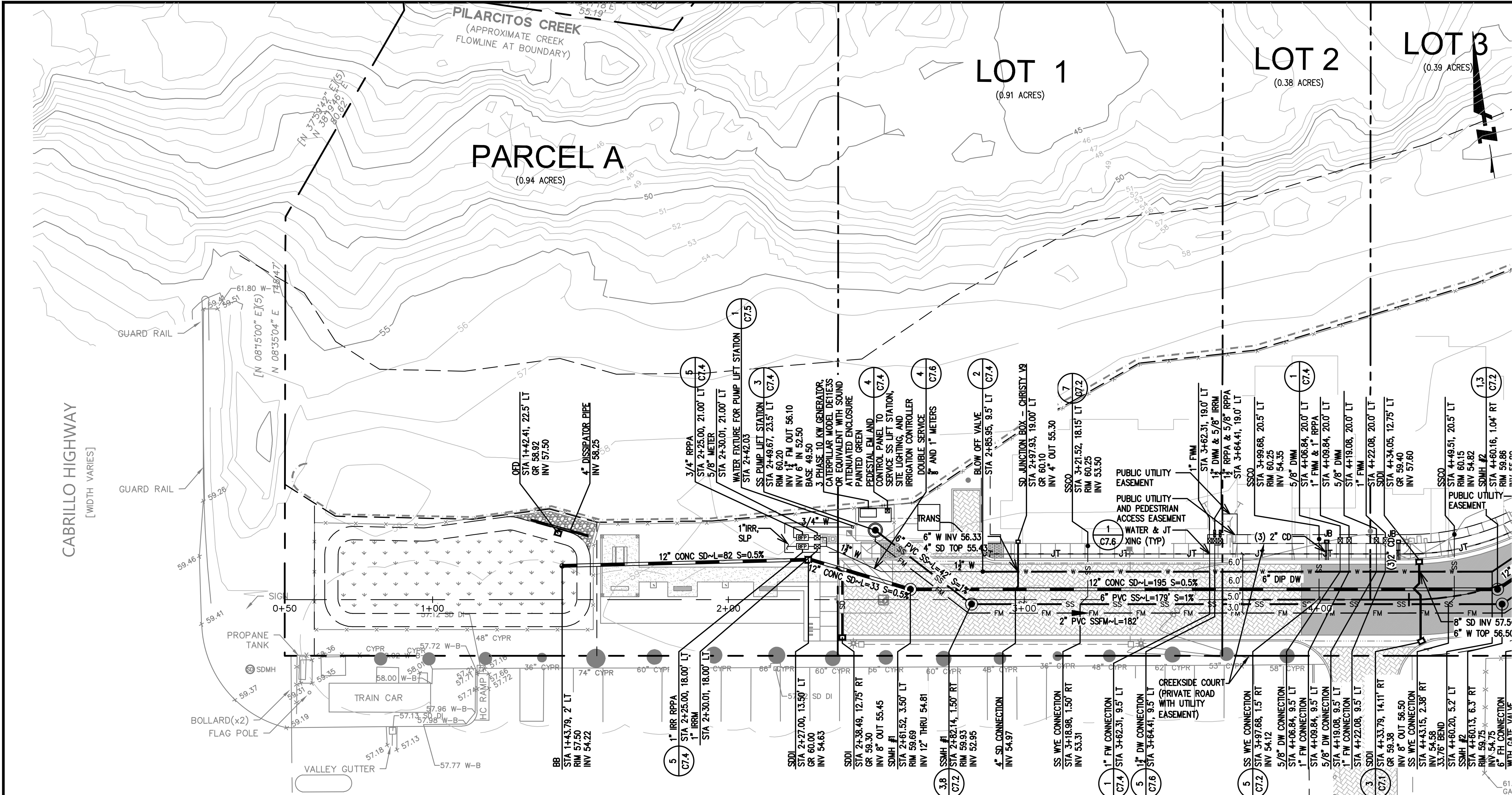


SEE SHEETS C.O. AND C.O.1 FOR NOTES AND LEGENDS





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PLOT DATE: 06-23-23 PLOTTED BY: wort



MATCHLINE: SEE SHEET C3.2

MATCHLINE: SEE SHEET C3.2

**STORM DRAIN NOTES:**

1. ALL STORM DRAIN WORK SHALL BE IN CONFORMANCE WITH THE CITY.
2. ALL AREA DRAINS, CATCH BASINS AND BUBBLE UP GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
3. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
4. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
5. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.

**SANITARY SEWER NOTES:**

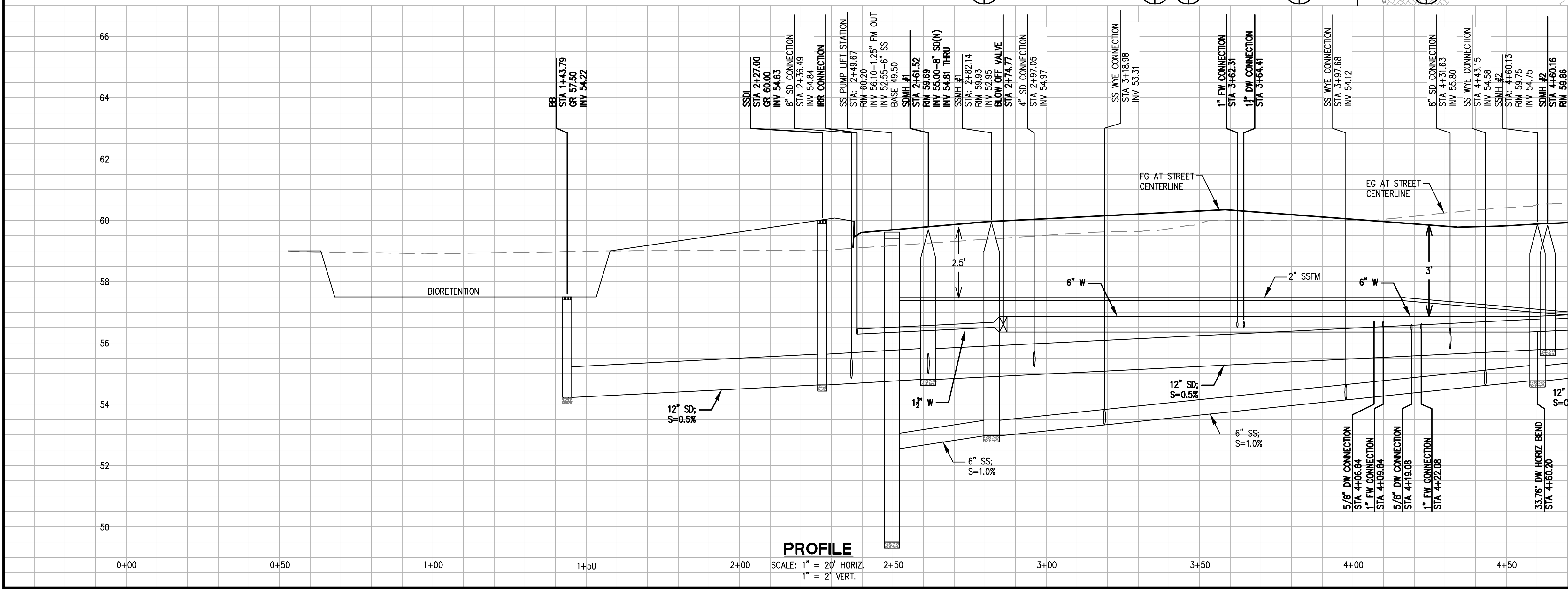
1. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY'S STANDARD DESIGN GUIDELINES FOR PUBLIC WORKS CONSTRUCTION 2016.
2. SANITARY SEWER SYSTEMS INCLUDING MAINS, MANHOLES, LATERALS AND SANITARY FORCE MAINS SHALL BE TESTED PER CITY'S STANDARD DESIGN GUIDELINES FOR PUBLIC WORKS CONSTRUCTION 2016.

**DOMESTIC WATER SYSTEM NOTES:**

1. WATER SYSTEM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE COASTSIDE COUNTY WATER DISTRICT DOCUMENT TITLED "STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, MAY 2018, LATEST REVISION."
2. INSTALLATION SHALL CONFORM TO THE COWD STANDARD DRAWINGS INCLUDED IN THESE IMPROVEMENT PLANS AND OTHER COWD STANDARD DRAWINGS.
3. WATER METER BOXES SHALL NOT BE LOCATED IN DRIVEWAY AREAS OR WITHIN 3 FEET HORIZONTAL AND 1 FOOT VERTICAL OF OTHER UTILITIES INCLUDING ELECTRICAL, GAS, TELEPHONED, AND CABLE TV.

**GENERAL NOTES:**

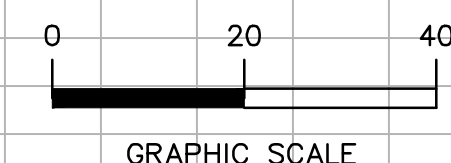
1. WATER LINES ARE SHOWN SCHEMATICALLY. CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
2. CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES.
3. ALL LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
4. SEE JOINT TRENCH PLANS FOR LOCATION OF JOINT TRENCH AND DRY UTILITIES.



**PROFILE**

SCALE: 1" = 20' HORIZ.  
1" = 2' VERT.

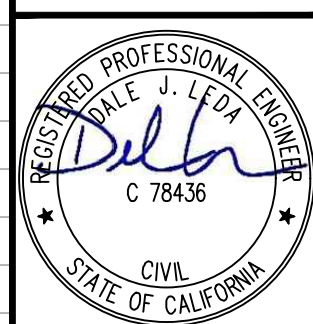
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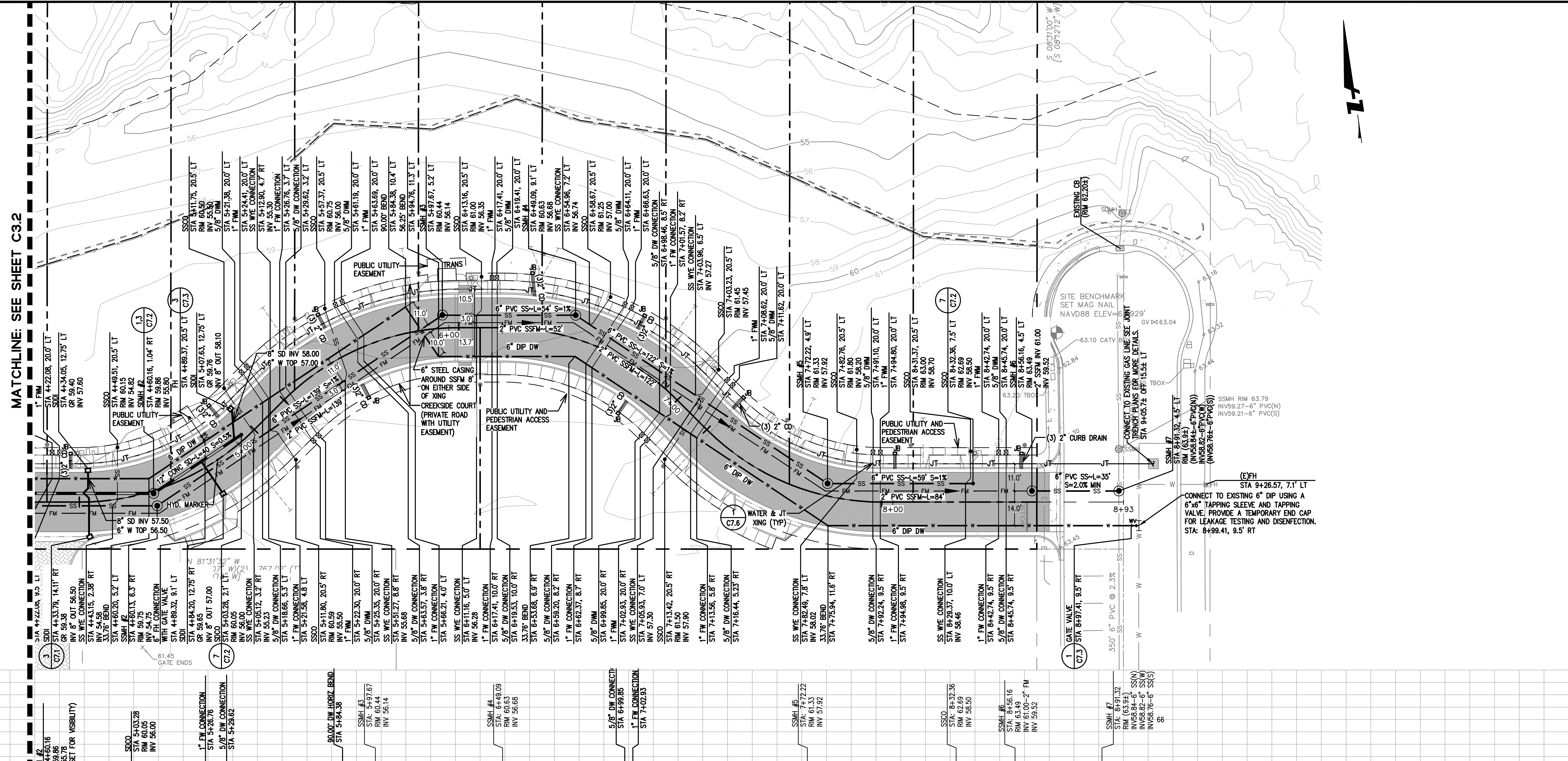
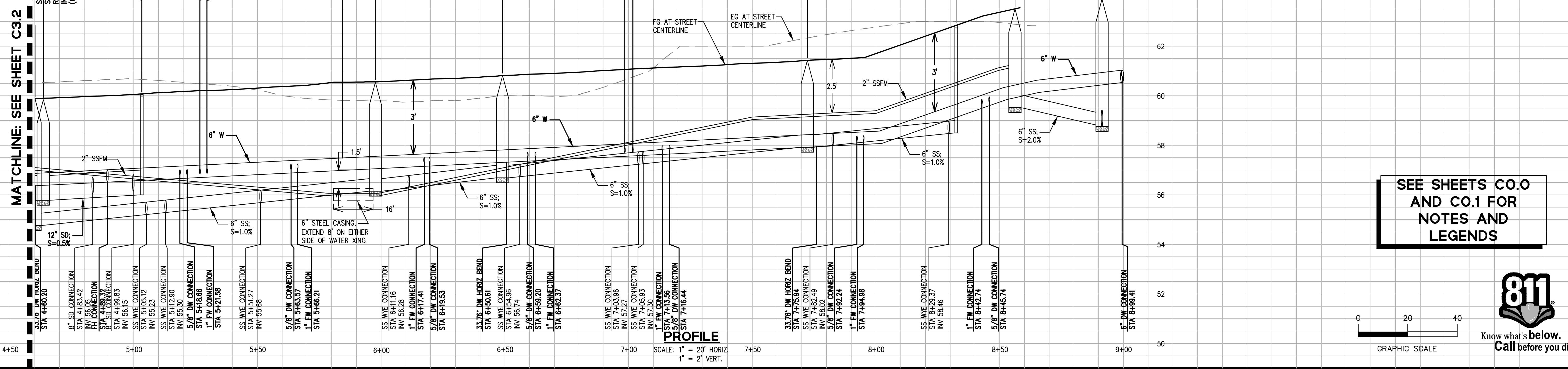
**UTILITY PLAN & PROFILE**  
CREEKSIDE COURT SUBDIVISION  
320 CHURCH STREET  
SAN MATEO COUNTY  
CALIFORNIA  
HALF MOON BAY



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Drawn: D.J.P./N.K.  
Approved: R.H.  
Job No: 20180123  
Drawing Number: C3.1

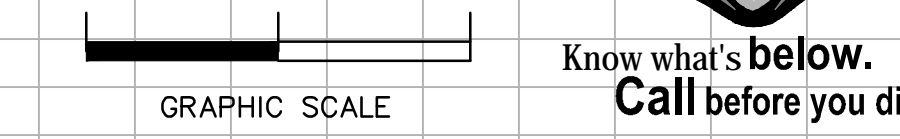
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 PLOTTED BY: wort



MATCHLINE: SEE SHEET C3.2

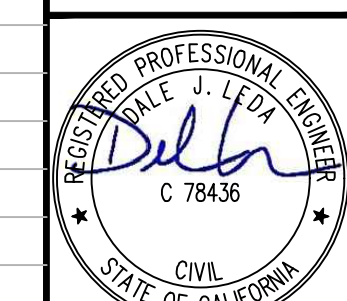
MATCHLINE: SEE SHEET C3.2

SEE SHEETS C0.0 AND C0.1 FOR NOTES AND LEGENDS



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**UTILITY PLAN & PROFILE**  
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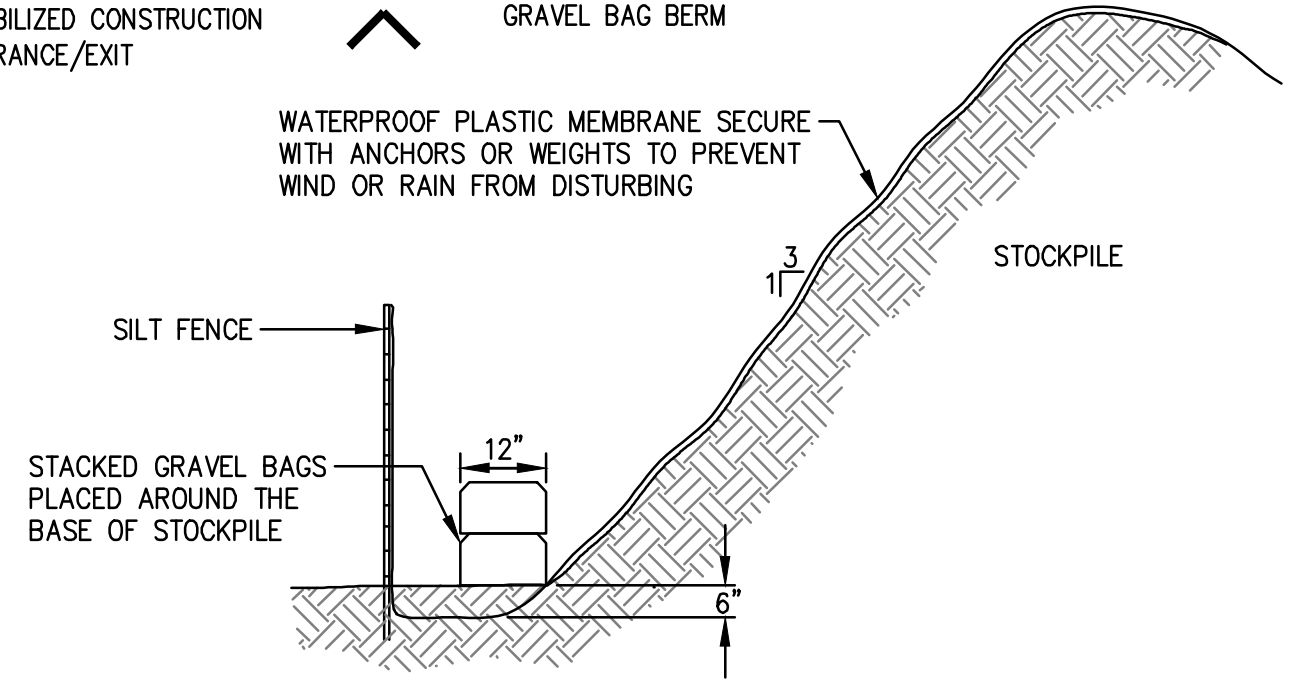
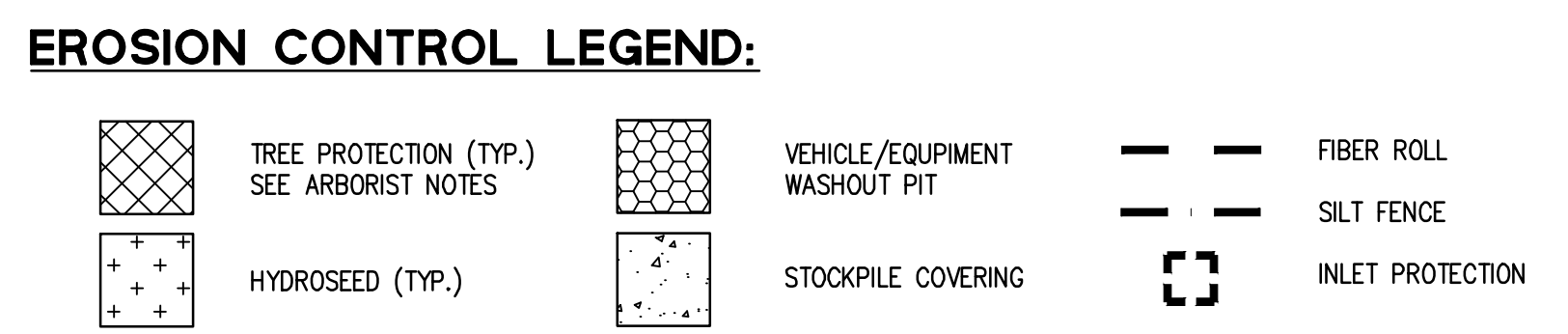
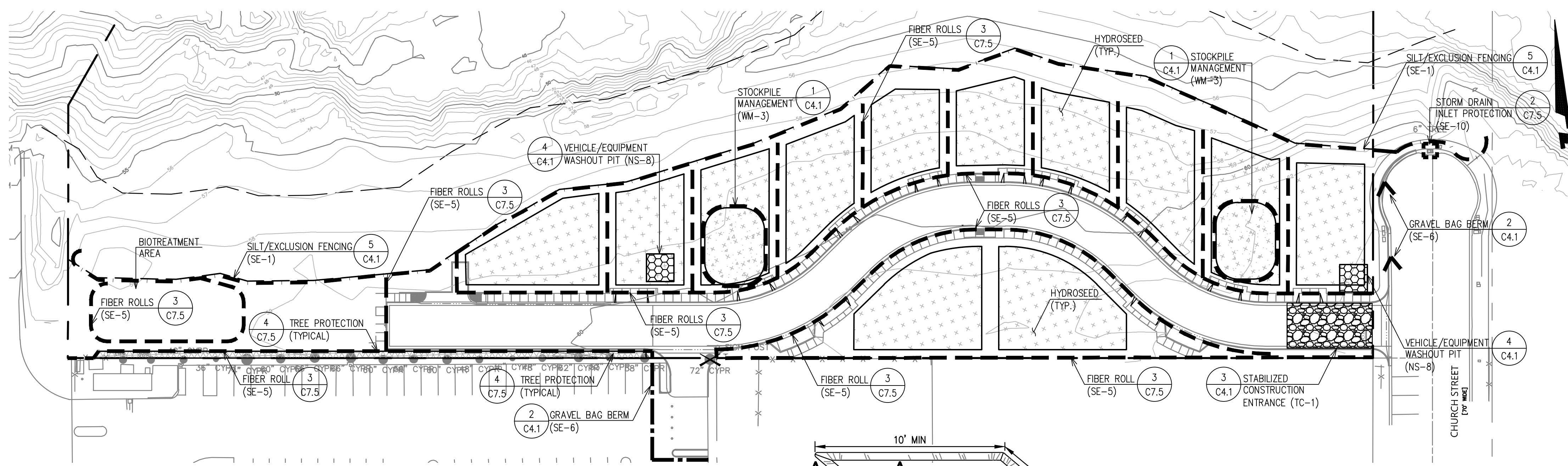
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Date	Revisions	No.
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01/09/2023	REVISIONS	
04/26/2023	PLAN CHECK - CCWD	
05/16/2023	PLAN CHECK REVISIONS	
06/23/2023	PLAN CHECK - CCWD	

Date	04/05/2019
Scale	AS SHOWN
Design	D.L.
Drawn	DJP/ANK
Approved	RH
Job No	20180123

Drawing Number: **C4.1**



**ARBORIST NOTES:**

- IF TREES ARE TO BE RETAINED, THEN INSTALL CHAIN LINK FENCING, MINIMUM 5-FEET IN HEIGHT, MOUNTED ON 2-INCH DIAMETER IRON TUBE POSTS. MINIMUM 7-FEET LONG POUNDED 24-INCHES INTO THE GROUND. HORIZONTAL DISTANCE BETWEEN TUBE POSTS SHALL BE BETWEEN 6 AND 10 FEET ON CENTER MAXIMUM SPREAD. OPTIMAL POST DISTANCE IS 6 FEET ON CENTER.
- THE AREAS BETWEEN CHAIN LINK FENCING AND TREE TRUNK EDGES SHALL BE KNOWN AS THE TREE PROTECTION ZONES OR ROOT PROTECTION ZONES (TPZ OR RPZ). NO SOIL DISTURBANCES ARE ALLOWED WITHIN THESE PROTECTED ZONES UNLESS AUTHORIZED BY THE LOCAL GOVERNING AUTHORITY.
- NO SUBSTANCES, MATERIALS, TOOLS, SUPPLIES, LIQUIDS, WASTES, ETC. ARE TO BE DUMPED OR STORED WITHIN THE TPZ, EVEN TEMPORARILY.
- THE TPZ FENCING MUST NOT BE MOVED OR ALTERED WITHOUT THE AUTHORIZATION OF THE PROJECT ARBORIST.
- FENCING SHALL BE COMPLETELY INSTALLED BEFORE SITE PLAN-RELATED ACTIVITY COMMENCES ON SITE.
- DURATION OF FENCING: FENCING SHALL REMAIN IN PLACE UNTIL FINAL SIGNOFF INSPECTION OF THE PROJECT.
- ALL WORK IN THE TPZ SHALL BE PERFORMED UNDER DIRECT SUPERVISION OF THE PROJECT ARBORIST. (I.E. IF FENCING NEEDS TO BE TEMPORARILY REMOVED).
- FOR ADDED PROTECTION OF THE ROOT ZONE, USE SILT FENCING DIG INTO THE GROUND PER PACKAGE DIRECTIONS AND AFFIXED TO THE OUTSIDE OF THE FENCE LINES. AND THEN PIN STRAW WATTLES DOWN OVER THE BOTTOM EDGE OF THE SILT FENCE USING THE WOOD DOWELS PROVIDED WITH THE WATTLES.
- TREE PROTECTION FENCING MAY BE REQUIRED TO BE INSPECTED BY THE CITY ARBORIST AND/OR PROJECT ARBORIST PRIOR TO ISSUANCE OF BUILDING PERMITS.
- FOR ALL SURVEY TREES, WRAP THE LOWER AREA OF TRUNKS BETWEEN GRADE AND APPROXIMATELY 8 FEET ABOVE GRADE WITH A STRAW WATTLE, AND AFFIX USING DUCT TAPE AND/OR ORANGE PLASTIC FENCING. ONLY INSTALL TRUNK BUFFER PROTECTION DURING SUMMER TIME ONLY, AS WETTING OF THE STRAW WATTLE COULD CAUSE TRUNK DAMAGE IN WINTER TIME.
- WRAP THE TREES WITH 10 OR 20 WRAPS OF ORANGE PLASTIC SNOW FENCING BEFORE WRAPPING STRAW WATTLE AROUND THE TRUNK, IN ORDER TO CREATE AN AIR GAP BETWEEN THE STRAW WATTLES AND THE TREE TRUNK BARK TO AVOID HAVING WET STRAW PUSHED AGAINST THE BARK OF THE TREES WHICH COULD POTENTIALLY CAUSE DISEASE.

**PERMANENT EROSION/SEDIMENT CONTROLS:**

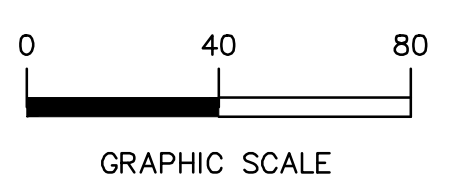
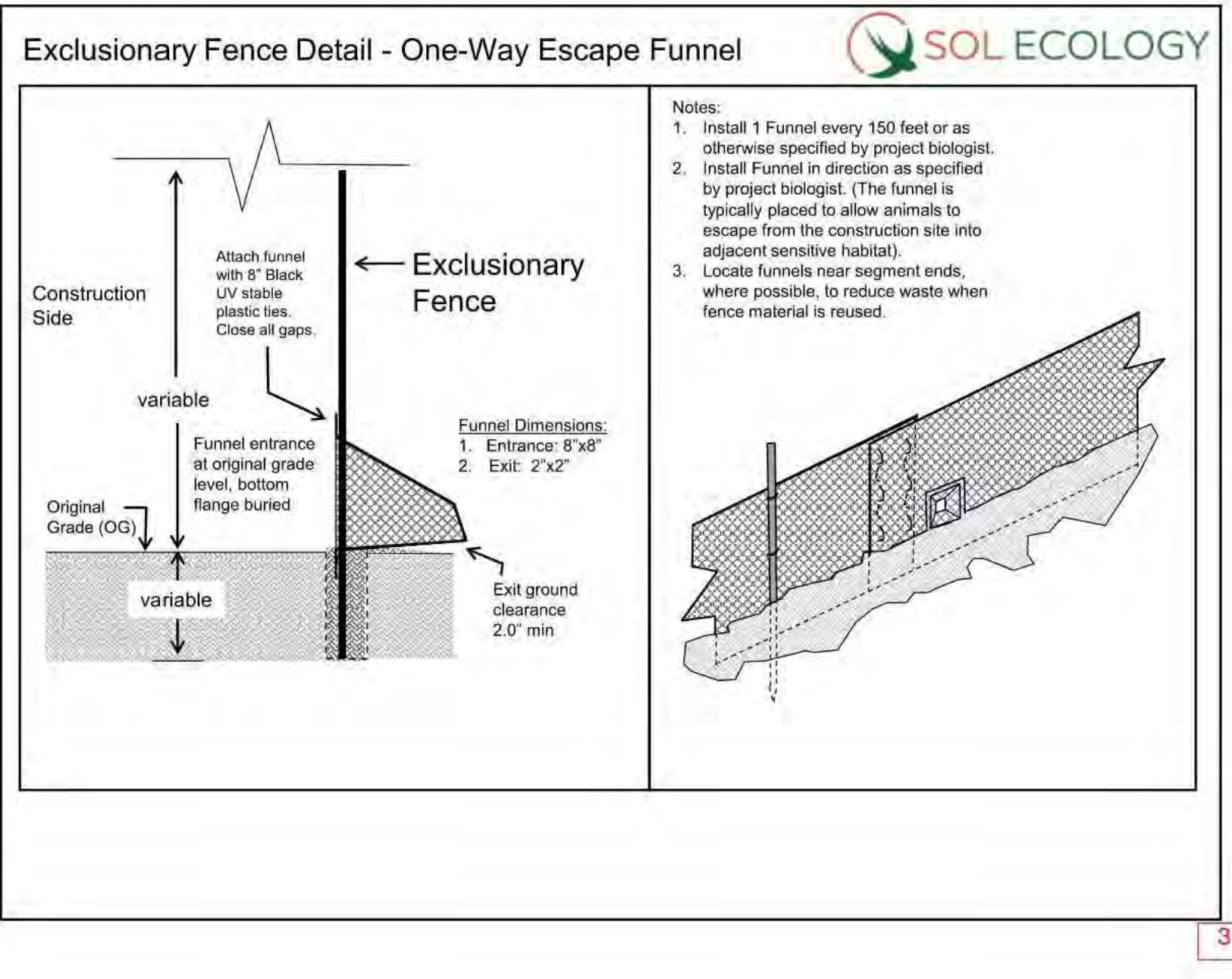
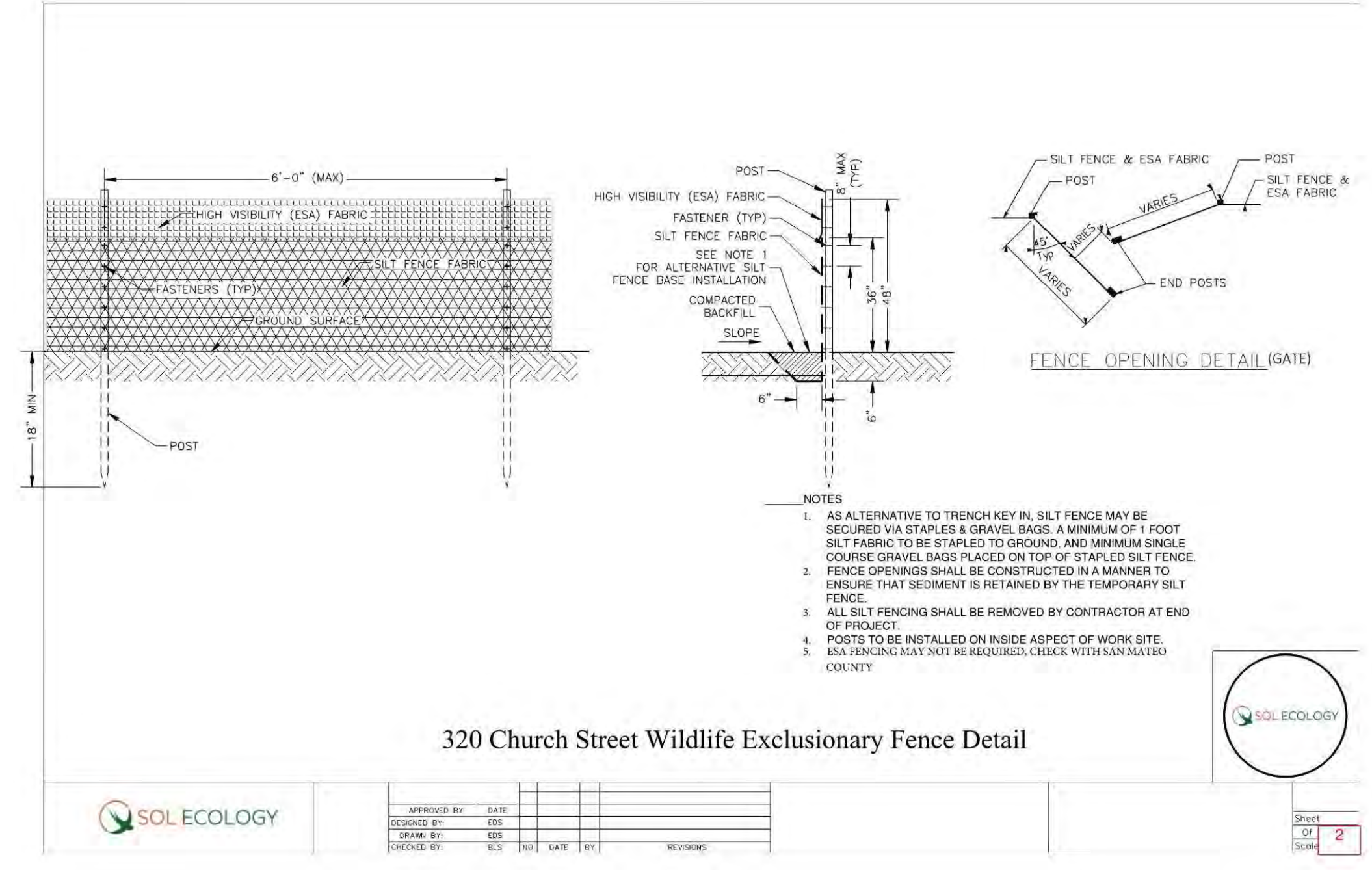
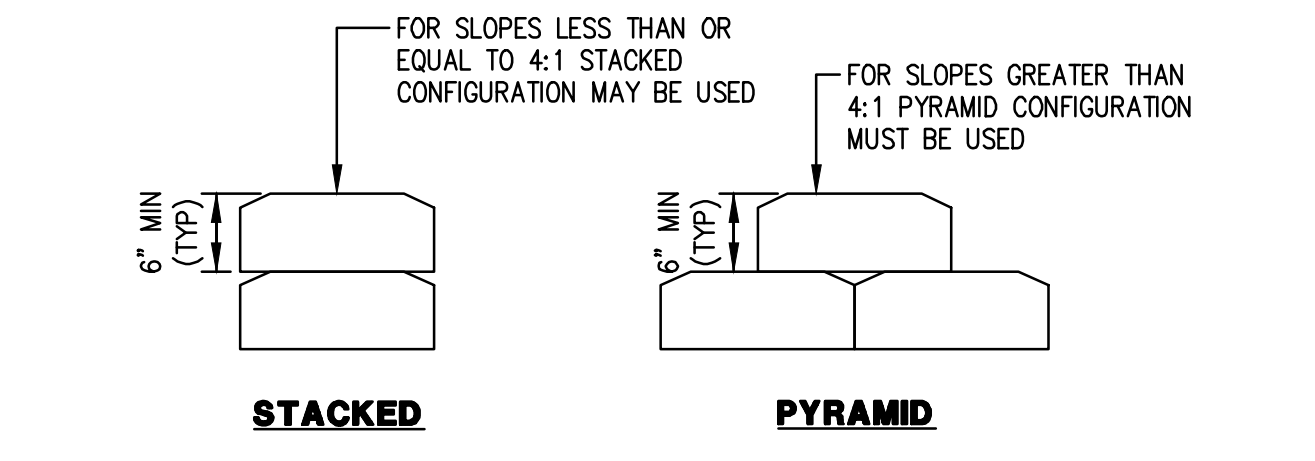
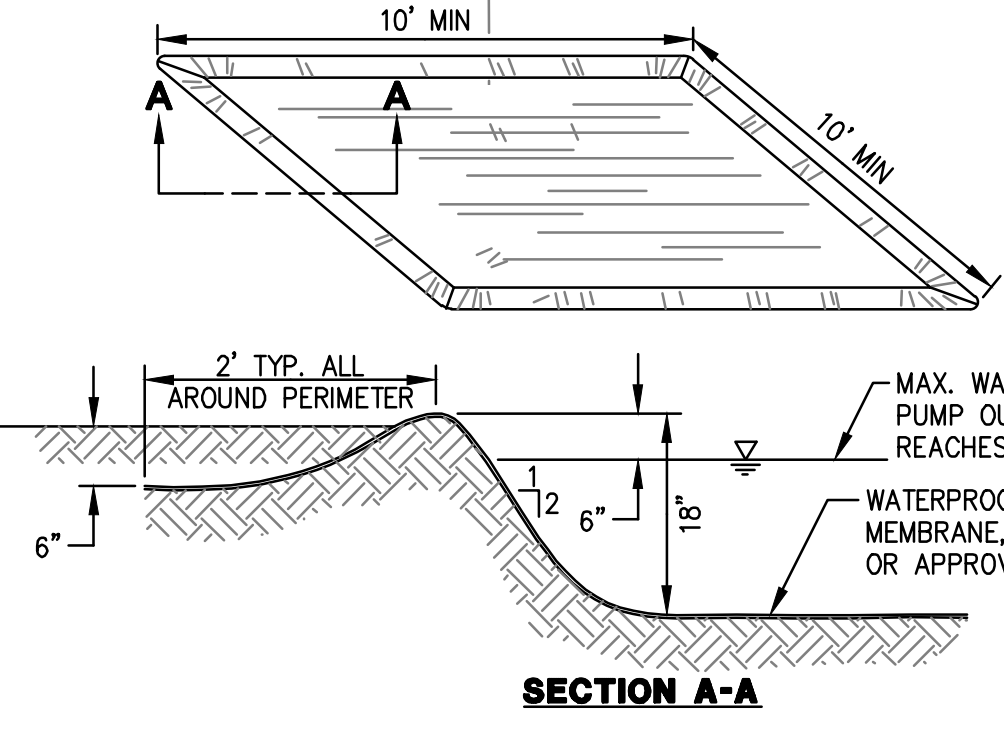
- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
- PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARBORIST.
- LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.
- SEE ADDITIONAL EROSION AND SEDIMENTATION CONTROL NOTES ON SHEET C0.1.
- SEE ADDITIONAL SITE FENCE NOTES ON SHEET C0.1.

**BIOLOGICAL RESOURCE NOTES:**

- FOR GROUND-DISTURBING DEMOLITION ACTIVITIES OCCURRING IN AREAS WHERE CALIFORNIA RED-LEGGED FROG (ORLF) OR SAN FRANCISCO GARTER SNAKE (SFGS) HAVE BEEN IDENTIFIED AS POTENTIALLY OCCURRING, A QUALIFIED BIOLOGIST SHALL CONDUCT PRE-CONSTRUCTION SURVEYS TO ACCESS HABITAT WITHIN AND AROUND THE PROPOSED GRADING AREA. INITIAL GROUND DISTURBING ACTIVITIES SHOULD BE MONITORED BY A QUALIFIED BIOLOGIST WITH EXPERTISE IN ORLF AND SFGS.

**WILDLIFE EXCLUSIONARY FENCING NOTES:**

- WILDLIFE EXCLUSIONARY FENCE SHALL BE INSTALLED PRIOR TO THE START OF PROJECT WORK TO PREVENT SPECIAL-STATUS SPECIES (E.G., ORLF, SFGS) FROM ENTERING THE ACTIVE WORK AREA AND STAGING AREA.
- PLASTIC MONO-FILAMENT NETTING OR SIMILAR MATERIAL THAT COULD CAUSE SPECIES ENTANGLEMENT SHALL NOT BE USED FOR WILDLIFE EXCLUSION FENCING OR ANY OTHER BMP. THE BOTTOM OF THE FENCE SHALL BE BURIED AT LEAST (4) INCHES TO PREVENT BURROWING ANIMALS FROM TUNNELING UNDER THE FENCE.
  - WILDLIFE ESCAPE FUNNELS SHALL BE INSTALLED A MINIMUM OF EVERY 150 FT TO ALLOW ENTRAPPED WILDLIFE TO ESCAPE FROM THE ENCLOSED AREA.



**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**



DRAWING NAME: \\BKF-r\c\dat\2018\180123\_320 Church Street\ENG\chsheets.dwg PLOT DATE: 06-23-23 PLOTTED BY: wort

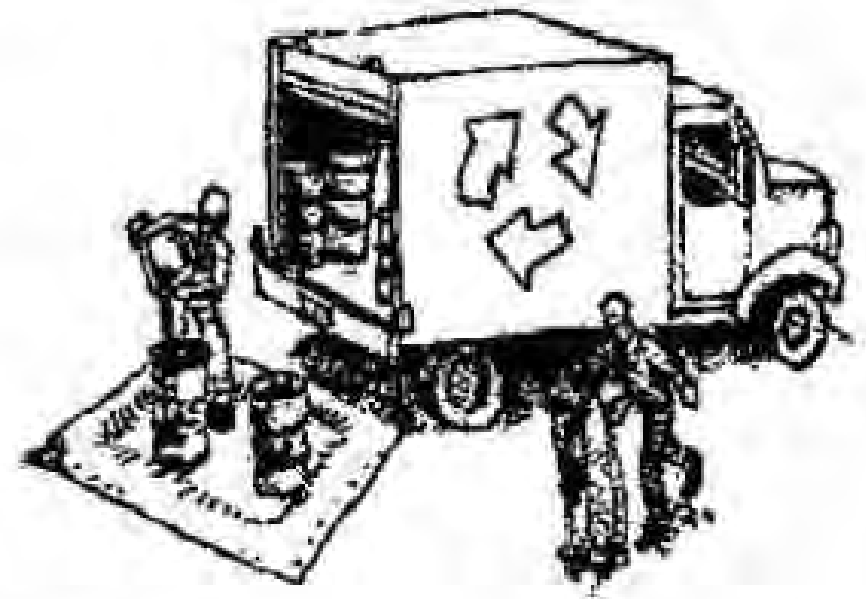
Date	No.	Revisions
04/05/2019	AS SHOWN	
09/02/2022	REVISIONS	
01/09/2023	REVISIONS	
04/26/2023	PLAN CHECK - COWD	
05/16/2023	PLAN CHECK REVISIONS	
06/23/2023	PLAN CHECK - COWD	



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



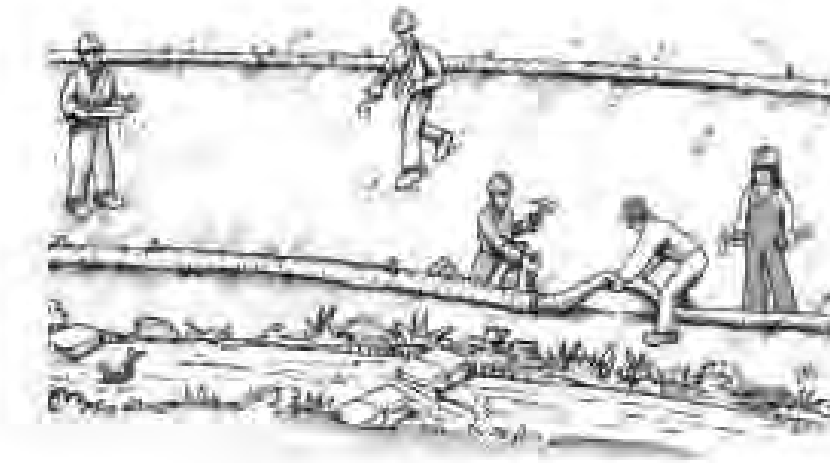
- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
  - Use (but don't overuse) reclaimed water for dust control.
- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
  - Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
  - Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
  - Arrange for appropriate disposal of all hazardous wastes.
- Waste Management**
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
  - Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
  - Clean or replace portable toilets, and inspect them frequently for leaks and spills.
  - Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
  - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
  - Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
  - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
  - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
  - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
  - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.
- Spill Prevention and Control**
- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
  - Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
  - Clean up spills or leaks immediately and dispose of cleanup materials properly.
  - Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
  - Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
  - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
  - Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center. (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks,
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
  - Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
  - Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
  - Do not use water to wash down fresh asphalt concrete pavement.
- Sawcutting & Asphalt/Concrete Removal**
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
  - Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
  - If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



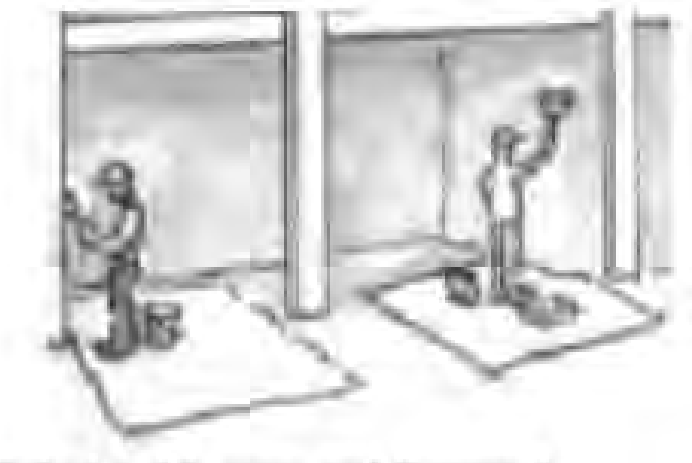
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



### Painting Cleanup and Removal

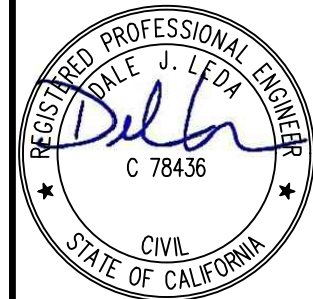
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering

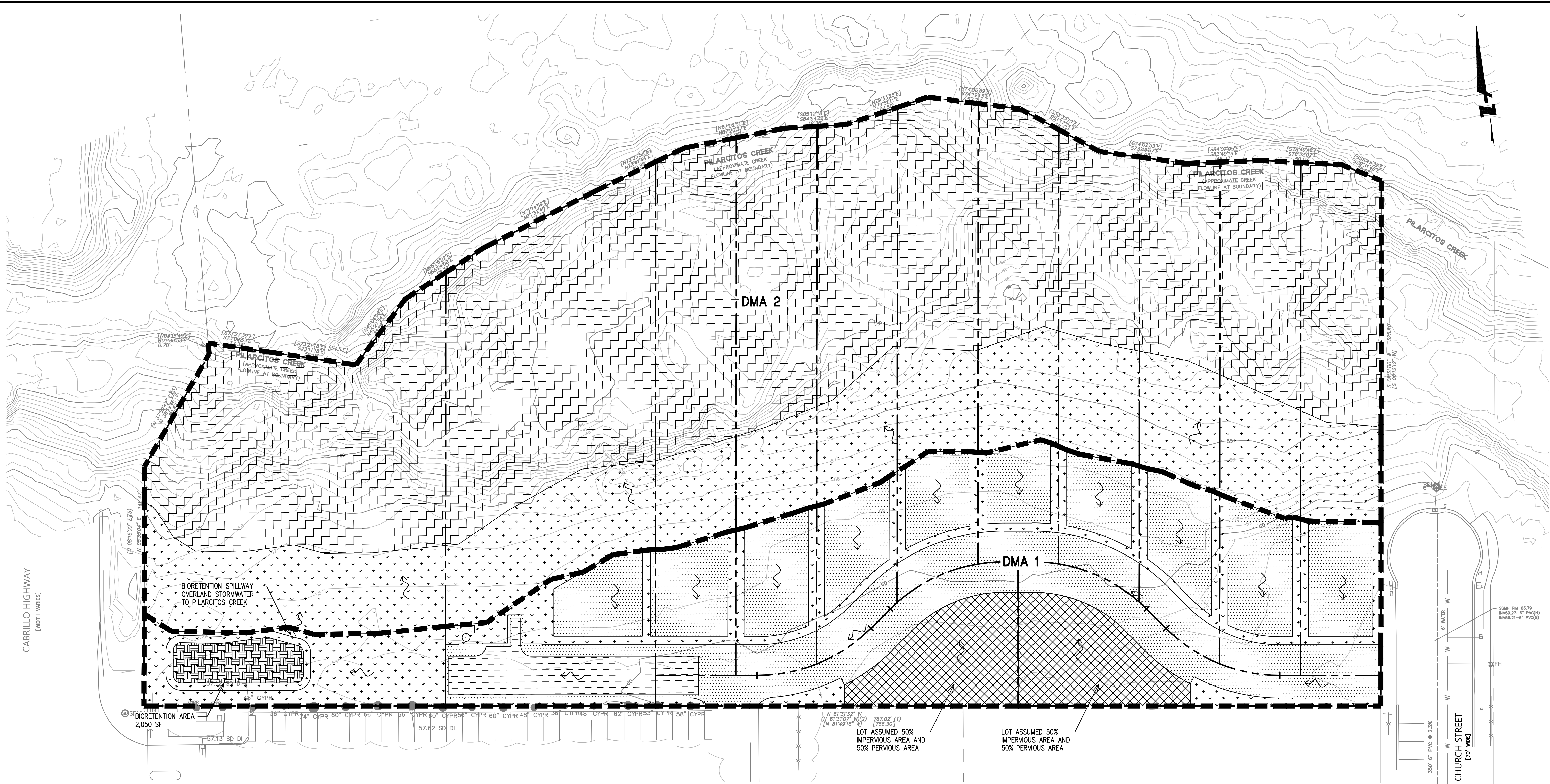


- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



Date	Revisions	No.
09/07/2022	REVISIONS	
01/09/2023	REVISIONS	
04/26/2023	PLAN CHECK - COWD	
05/16/2023	PLAN CHECK REVISIONS	
06/23/2023	PLAN CHECK - COWD	



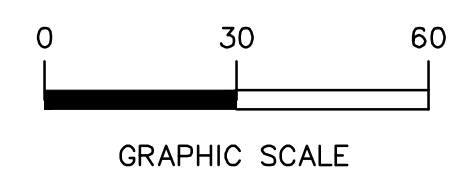
**LEGEND**

- (P) LANDSCAPE/GRASS AREA
- (P) FORESTED AREA
- (P) BMP AREA
- (P) PERVIOUS PAVEMENT
- (P) IMPERVIOUS HARDSCAPE
- (P) 50% IMPERVIOUS AND 50% PERVIOUS

	DMA 1	DMA 2	TOTAL
TOTAL AREA	78,410 SQ FT	160,434 SQ FT	238,844 SQ FT
(P) PERVIOUS AREA			
LANDSCAPE/GRASS	25,828 SQ FT	47,264 SQ FT	73,092 SQ FT
FOREST	0 SQ FT	113,170 SQ FT	113,170 SQ FT
PERVIOUS PAVEMENT	3,966 SQ FT	0 SQ FT	3,966 SQ FT
TOTAL:	29,794 SQ FT	160,434 SQ FT	190,228 SQ FT
(P) IMPERVIOUS AREA			
TOTAL:	48,617 SQ FT	0 SQ FT	48,617 SQ FT
TOTAL EFFECTIVE IMPERVIOUS AREA <sup>1</sup>	51,200 SQ FT	0 SQ FT	51,200 SQ FT
REQUIRED LID TREATMENT AREA <sup>2</sup>	2,048 SQ FT	-	2,048 SQ FT
PROVIDED LID TREATMENT AREA	2,050 SQ FT	-	2,050 SQ FT

**NOTES:**

- EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 0.1 TIMES THE TOTAL LANDSCAPE/GRASS AREA PER THE SAN MATEO COUNTY C.3 MANUAL.
- REQUIRED LID TREATMENT AREAS ARE DETERMINED FROM THE SAN MATEO COUNTY C.3 4% METHOD.



**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**

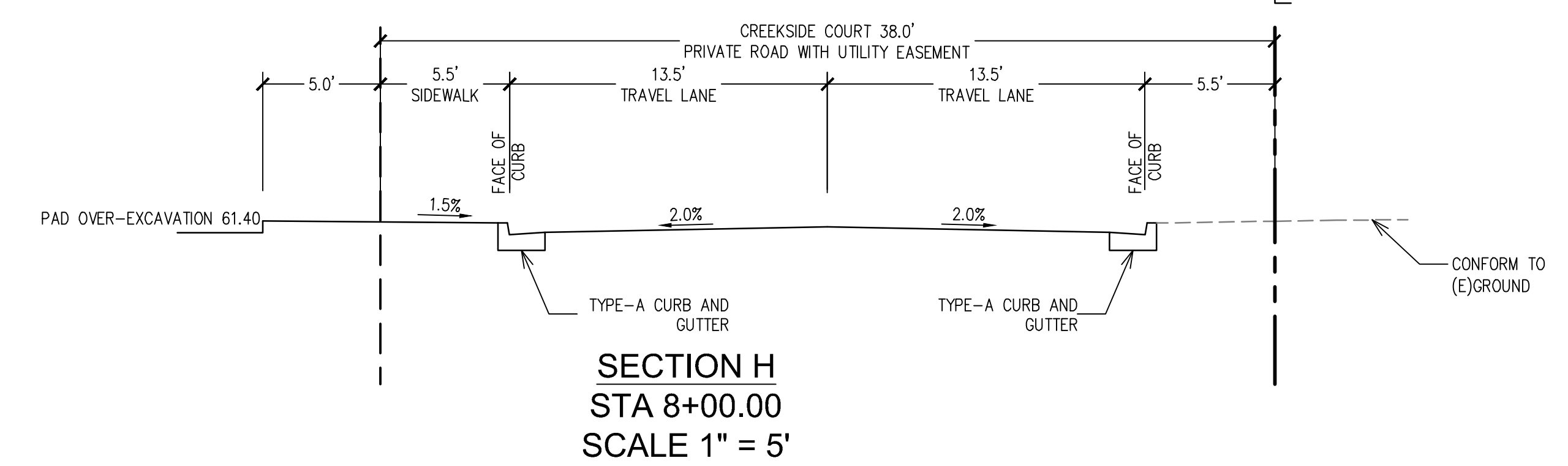
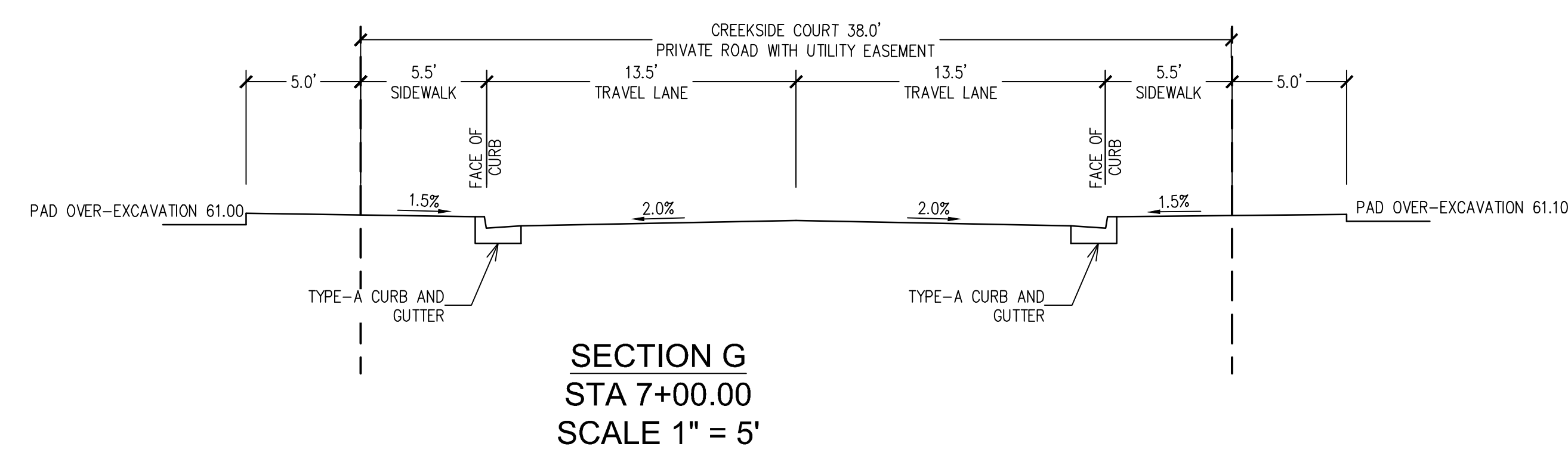
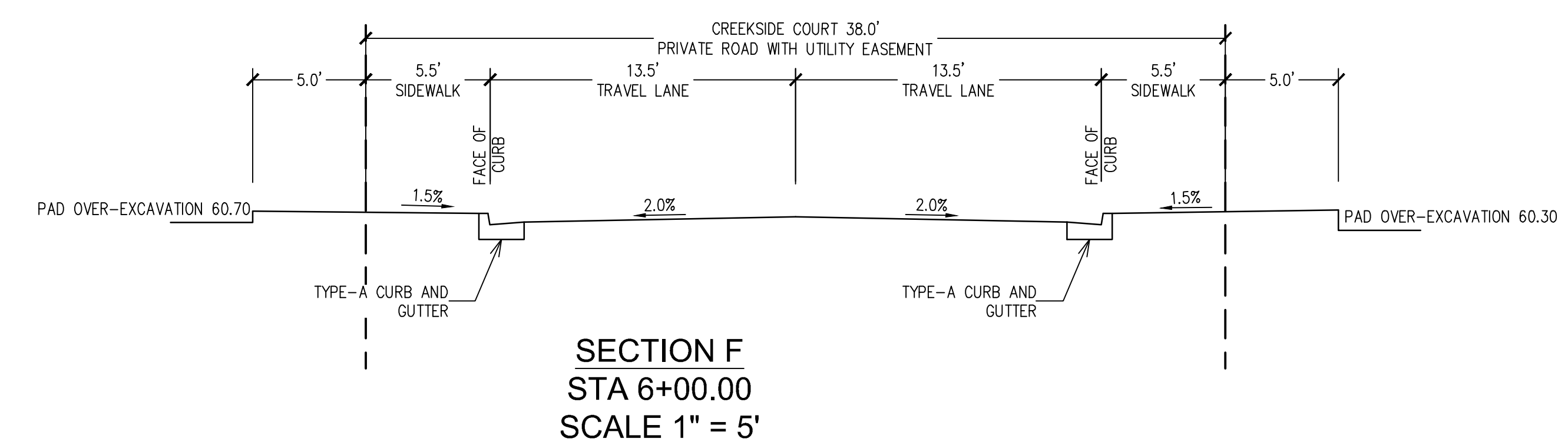
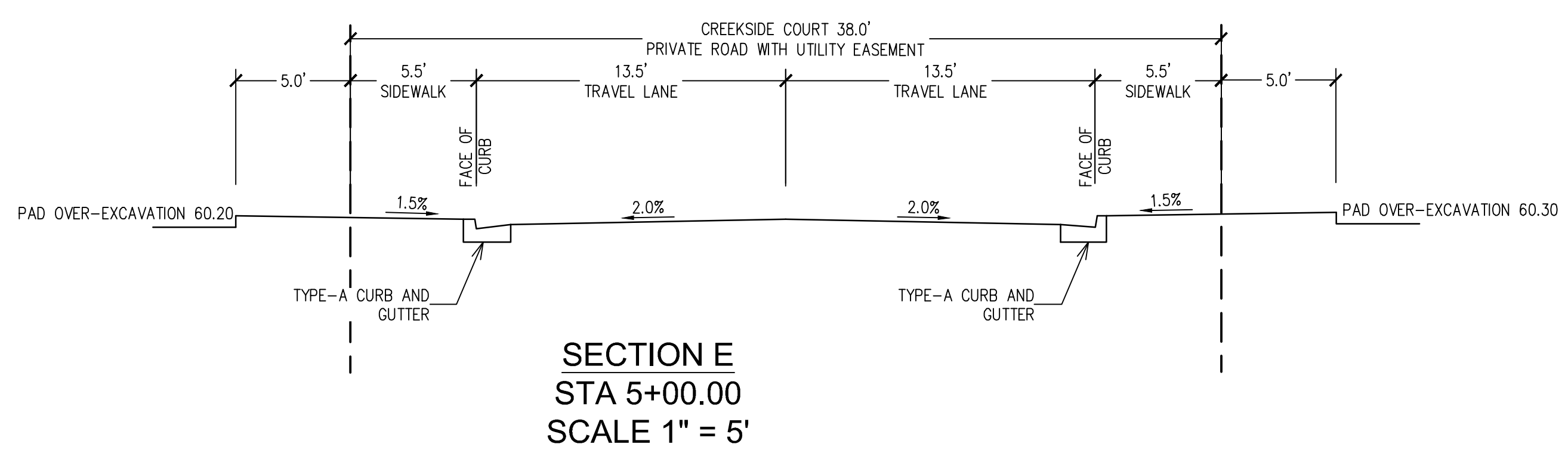
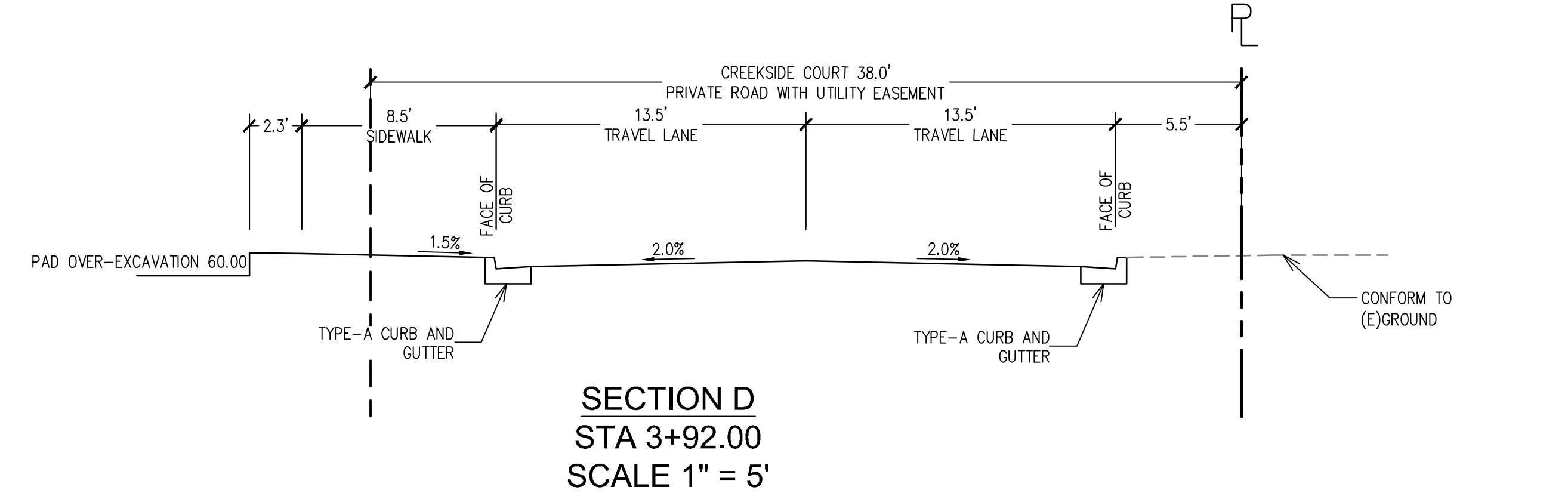
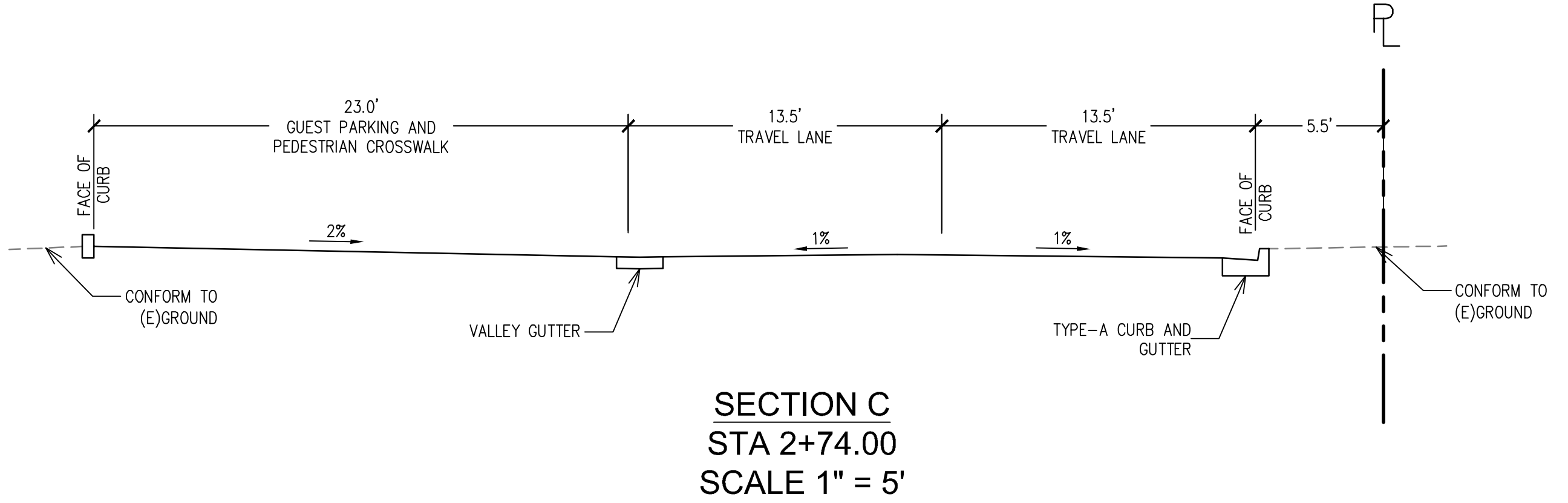
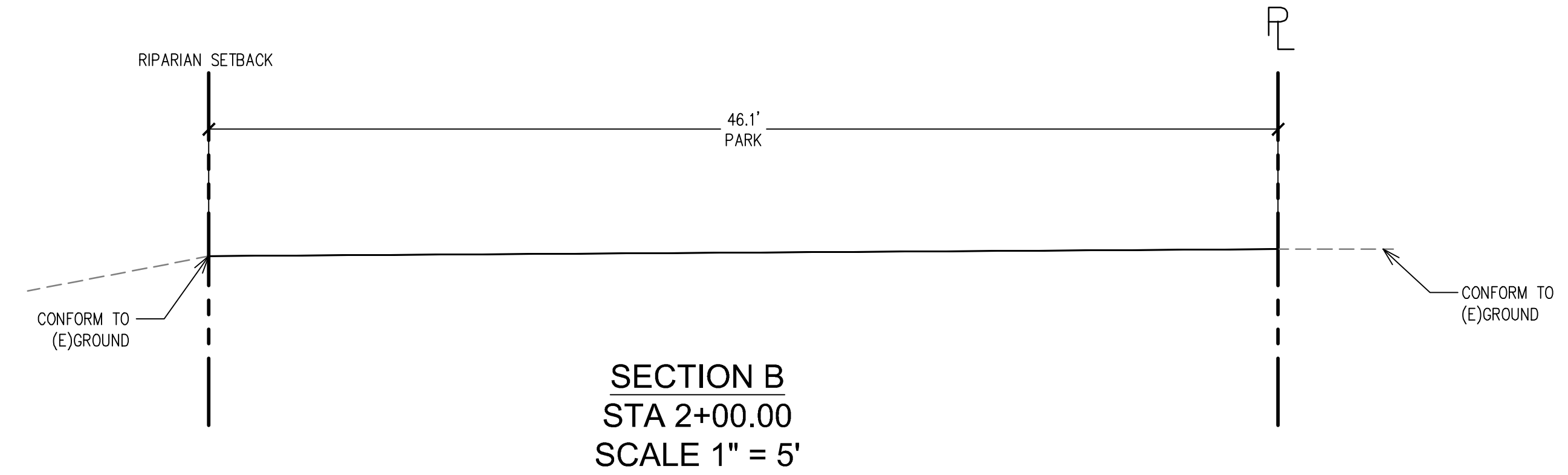
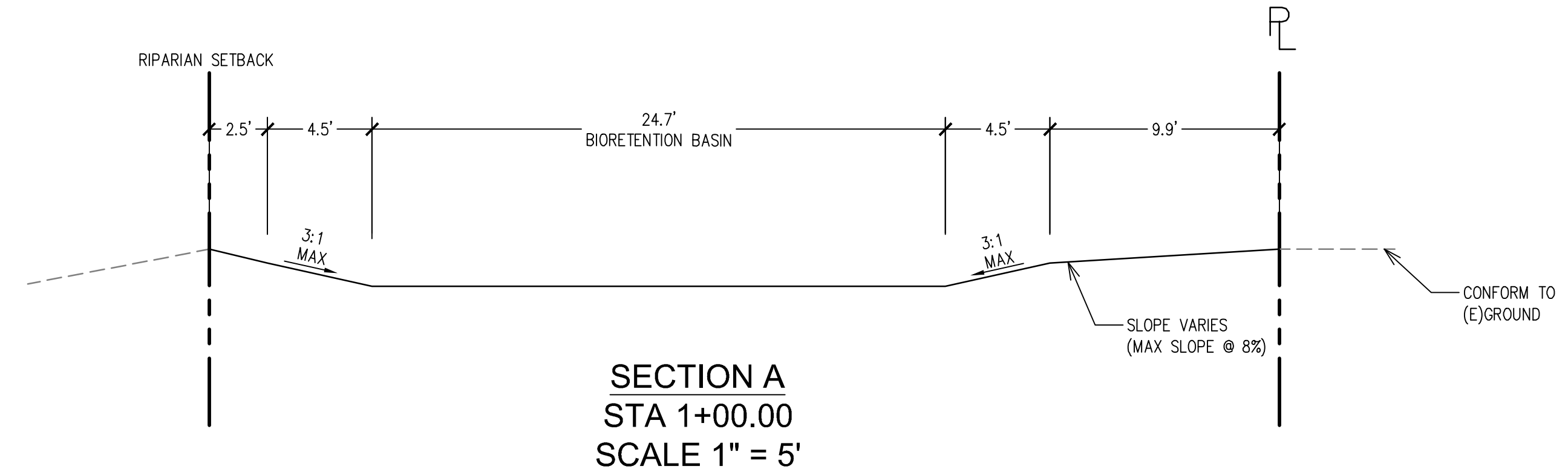


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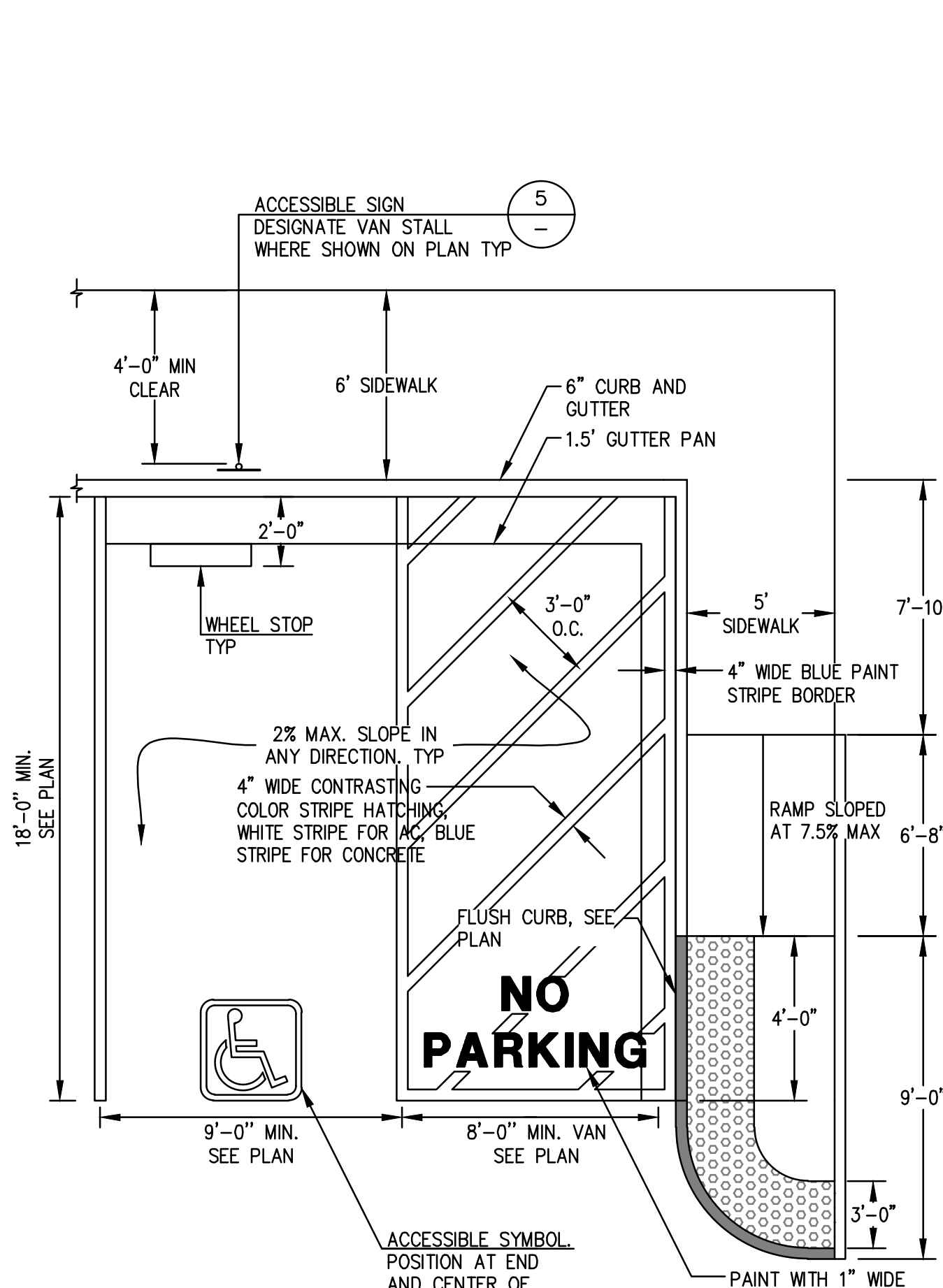


Date	Revisions	No.	Date
09/02/2022	REVISIONS		09/02/2022
01/09/2023	REVISIONS		01/09/2023
04/26/2023	PLAN CHECK - COWD		04/26/2023
05/16/2023	PLAN CHECK REVISIONS		05/16/2023
06/23/2023	PLAN CHECK - COWD		06/23/2023

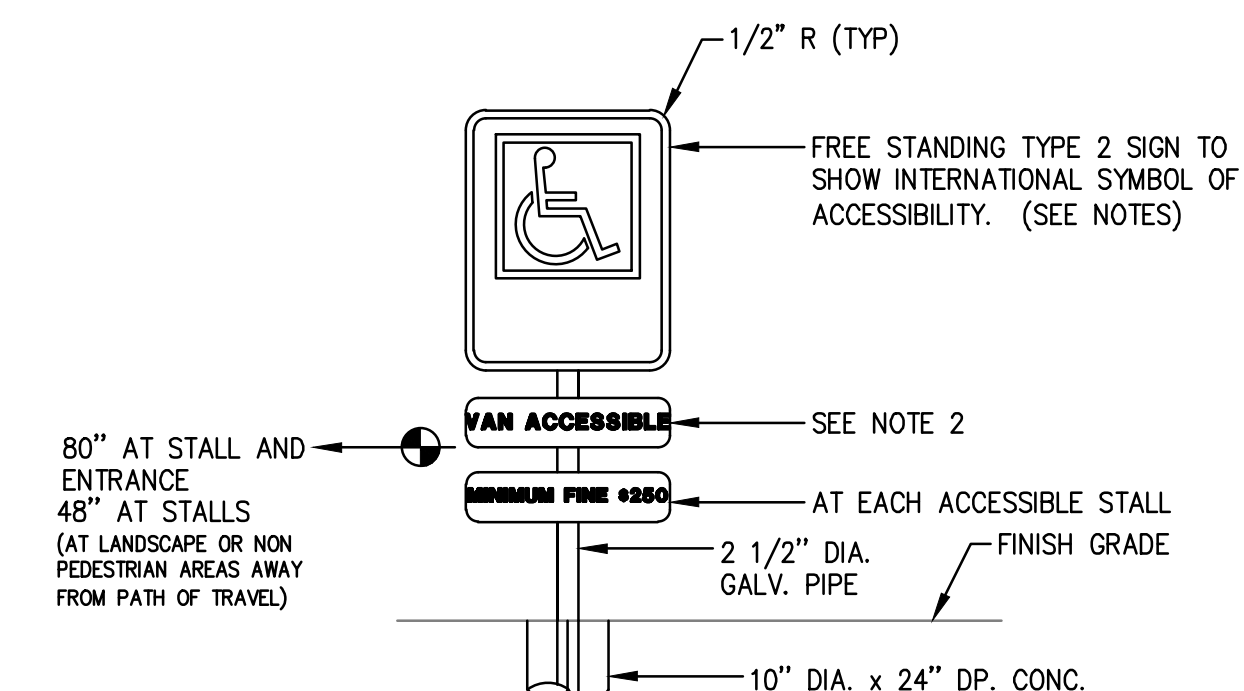
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Date	09/02/2022
Revisions	01/09/2023
No.	04/26/2023
AS SHOWN	05/16/2023
Design	06/23/2023
Drawn	
Approved	
Job No	20180123

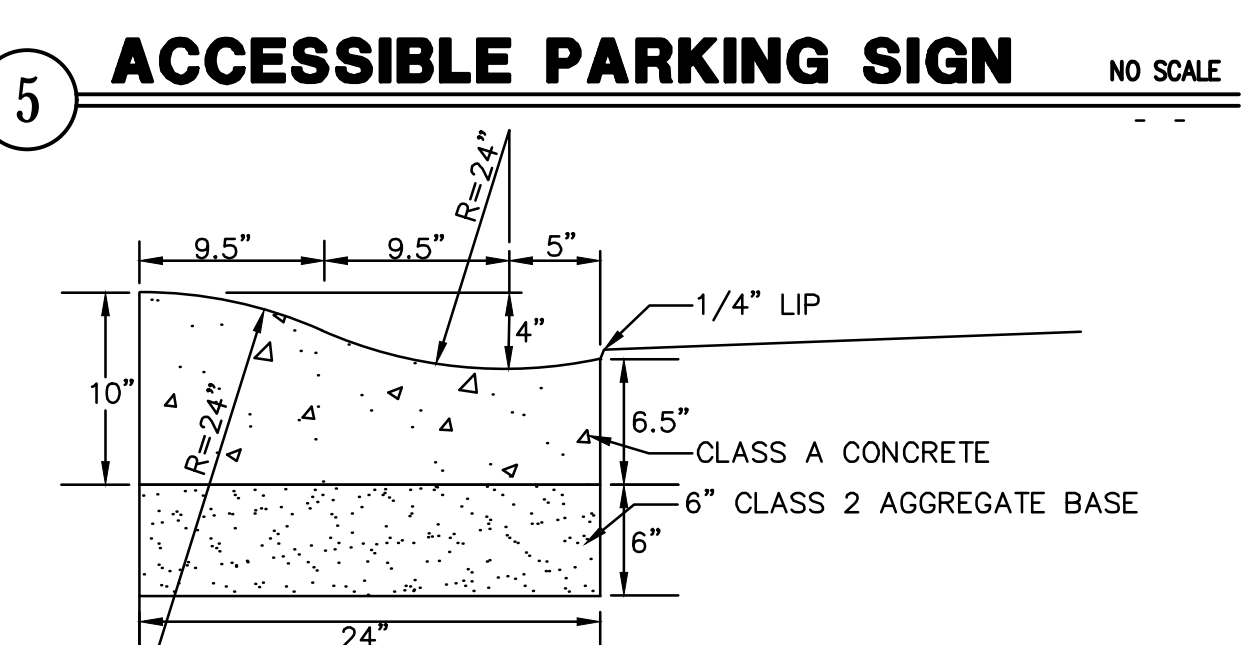


**7 ACCESSIBLE STALL** NO SCALE



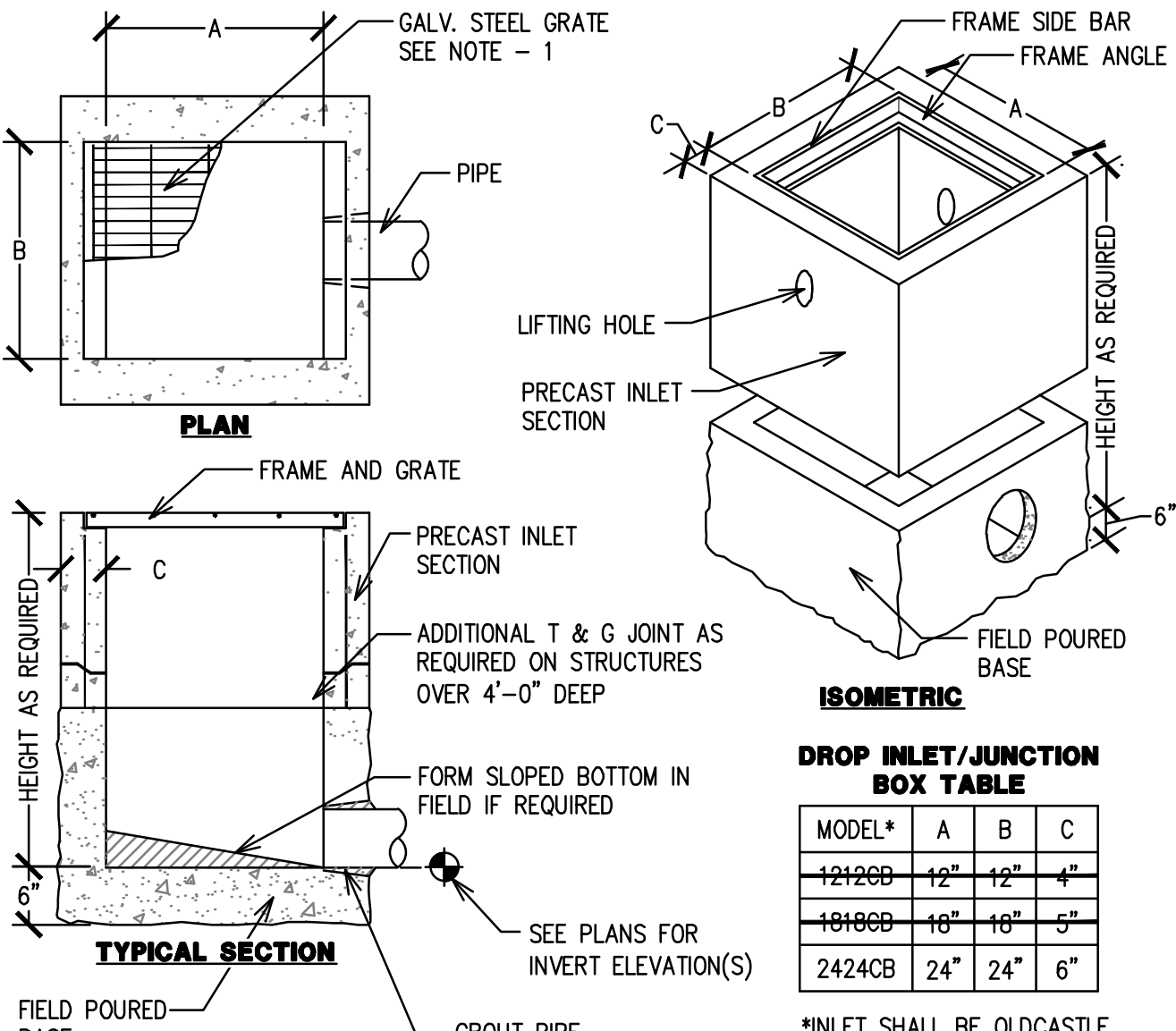
**5 ACCESSIBLE PARKING SIGN** NO SCALE

NOTES:  
1. TYPE 2 SIGN: DISABLED ACCESSIBLE PARKING SPACE SIGN TO BE BEADED (OR EQUAL) WITH INTERNATIONAL SYMBOL OF ACCESS, AS SHOWN. SIZE TO BE 70 SQ. IN. MINIMUM.  
2. PROVIDE SIGN AT VAN STALL WITH ADD'L SIGN STATING "VAN ACCESSIBLE."



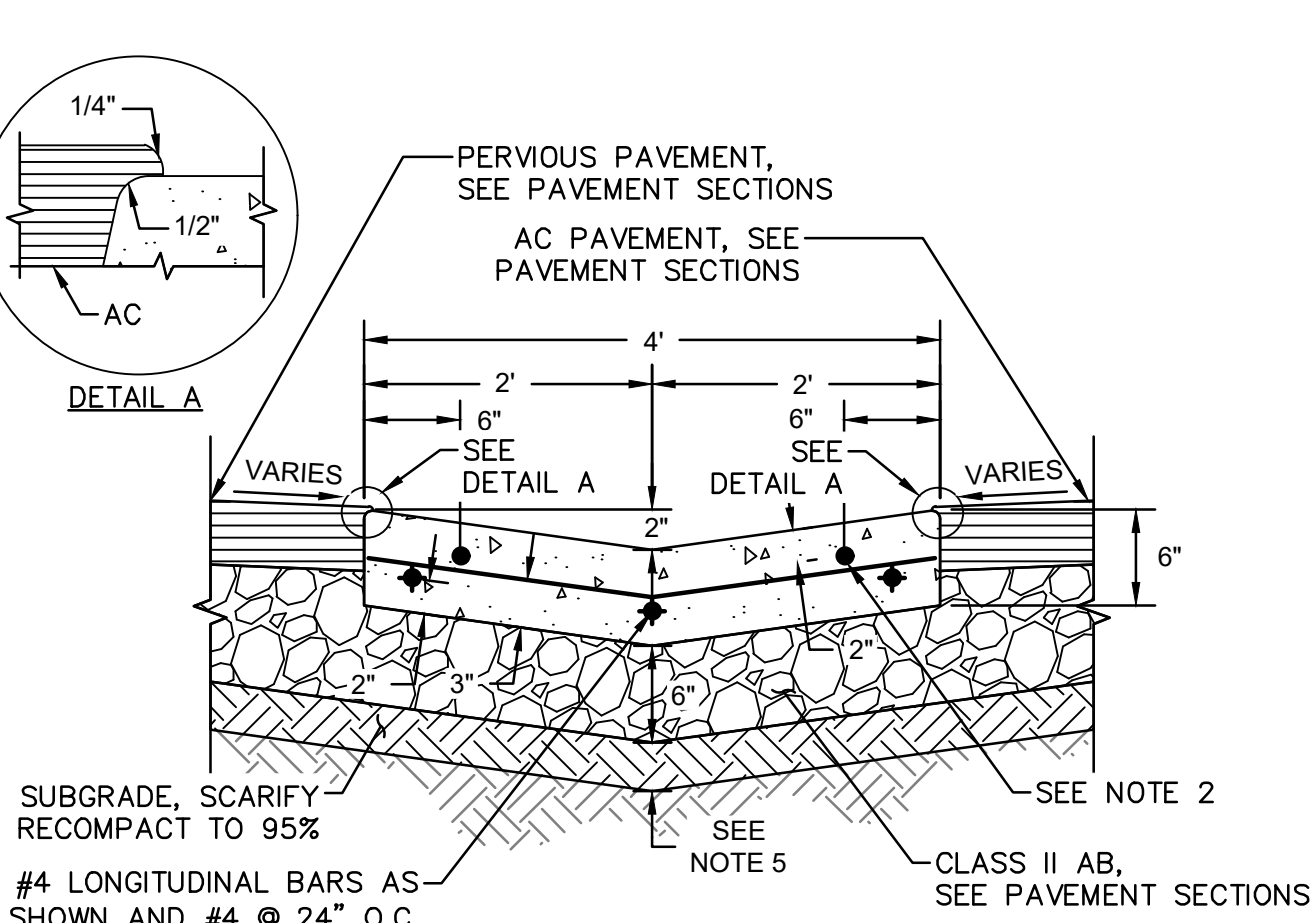
**6 ROLLED CURB AND GUTTER** NO SCALE

NOTES:  
1. CONCRETE GUTTER SHALL BE INSTALLED PRIOR TO PAVING.  
2. REINFORCEMENT SHALL CONSIST OF 6" X 6" - #10/#10 WELDED WIRE FABRIC.  
3. PLACE 1/2" DIAMETER X 18" LONG DOWELS, AT EXPANSION JOINTS  
4. PLACE 1/4" THICK EXPANSION JOINTS FULL WIDTH 20' ON CENTER. DEEP SCORE AT 10' INTERVALS BETWEEN EXPANSION JOINTS.



**3 STORM DRAIN DROP INLET** SCALE: NO SCALE

NOTE:  
FRAMES AND GRATES SHALL BE HEAVY DESIGNED FOR H20 HIGHWAY LOADING. GRATE TO BE BICYCLE PROOF.

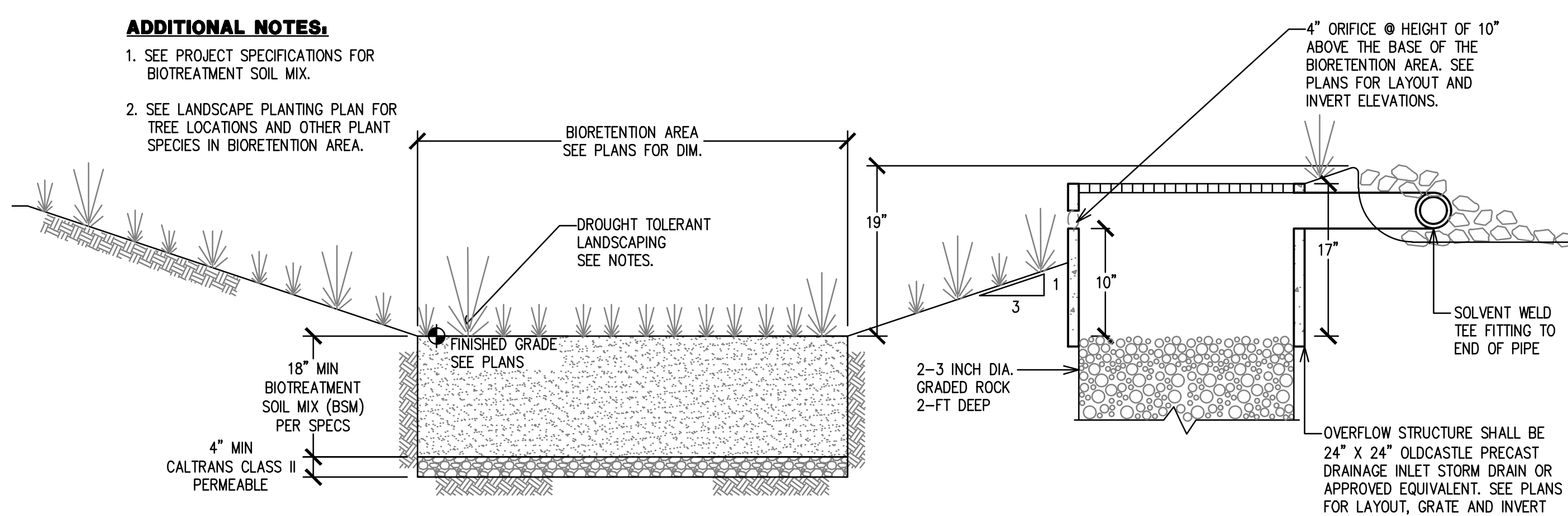


**1 4' VALLEY GUTTER** NO SCALE

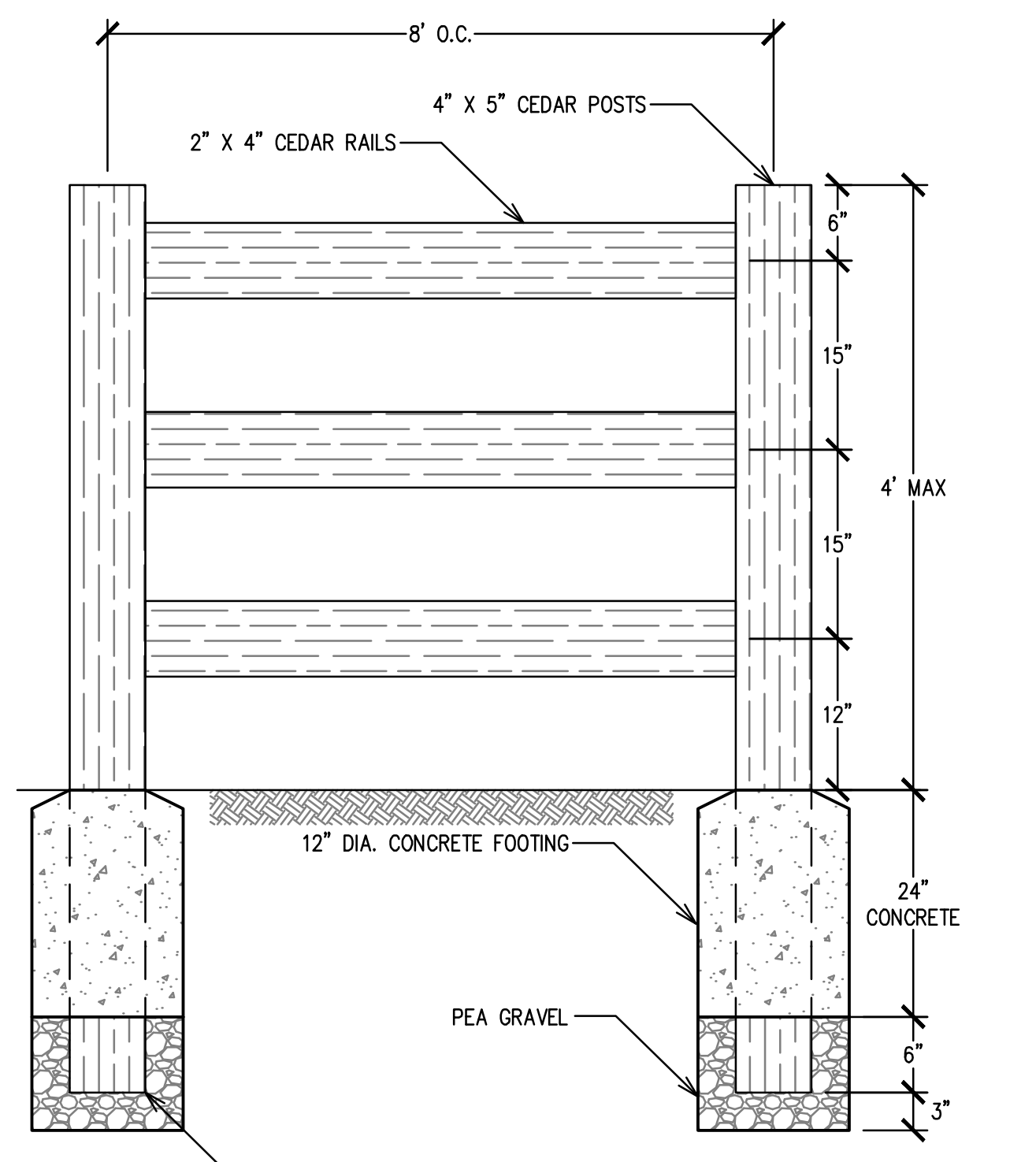
NOTES:  
1. USE 1/2" WIDE EXPANSION JOINTS AT EACH END OF CURB RETURN AND AT 20' CENTERS.  
2. USE 1/2" X 12" SMOOTH CAPPED DOWELS AT EACH EXPANSION JOINT AND AT END OF POURS.  
3. SET SCORE MARKS 1 1/2" TO 2" DEEP AT 20' CENTERS, ALTERNATE WITH EXPANSION JOINTS AT 10' ON CENTER.  
4. SURFACE FINISH TO BE LIGHT BROOMING.  
5. SCARIFY AND RECOMPACT TO 95% COMPACTION.

**ADDITIONAL NOTES:**

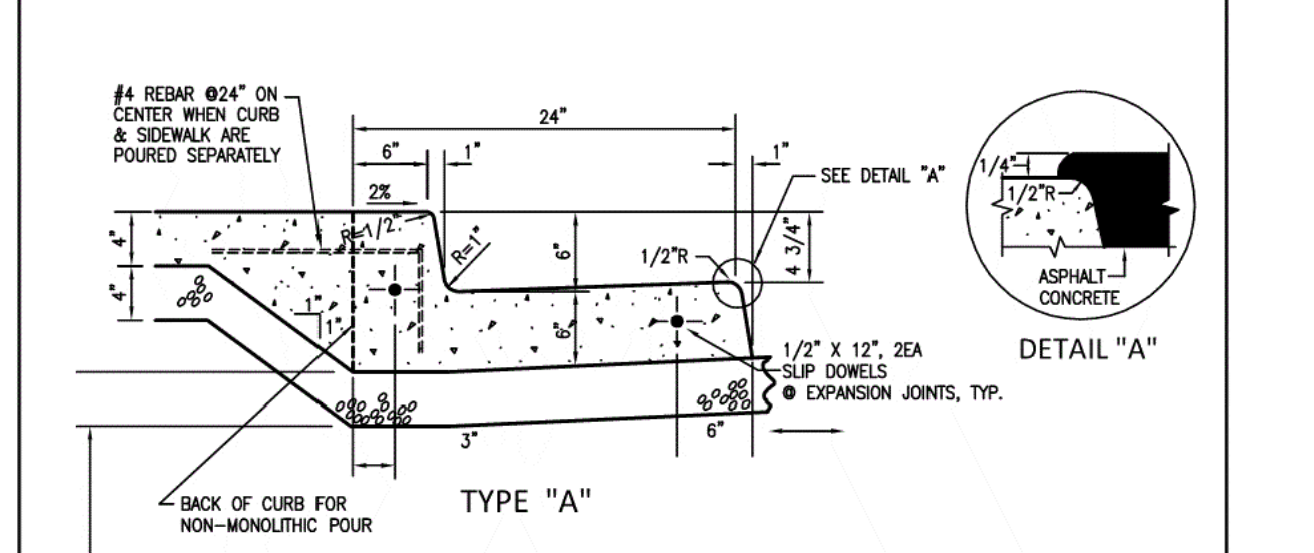
- SEE PROJECT SPECIFICATIONS FOR BIOTREATMENT SOIL MIX.
- SEE LANDSCAPE PLANTING PLAN FOR TREE LOCATIONS AND OTHER PLANT SPECIES IN BIOTRETENTION AREA.



**8 ONSITE BIOTRETENTION AREA WITH OVERFLOW STRUCTURE** NO SCALE



**4 SPLIT RAIL FENCE** SCALE: NO SCALE



**2 CURB AND GUTTER** NO SCALE

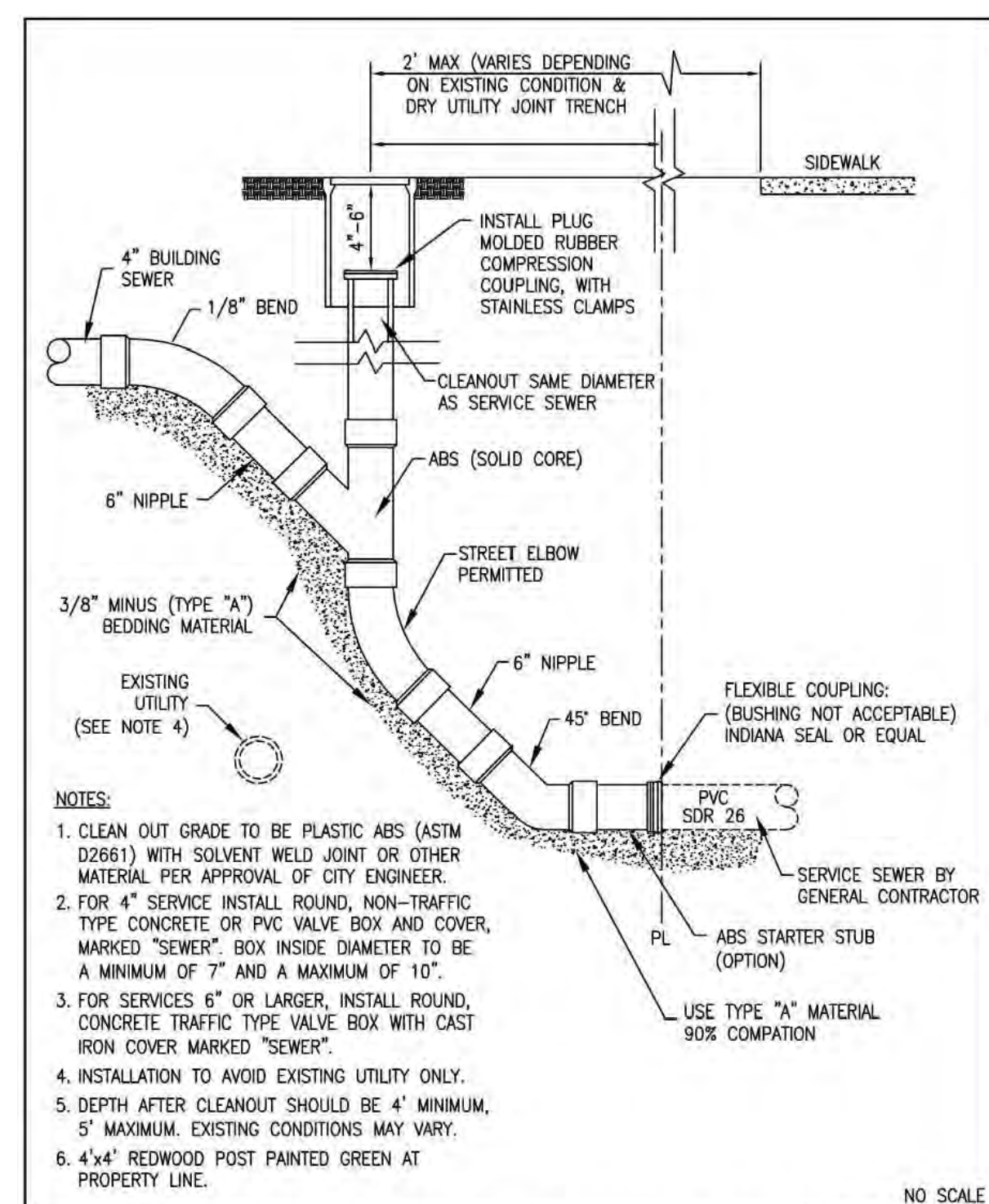
**CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL**

APPROVED BY: [Signature]  
DATE: JULY 19, 2018

CURBS AND GUTTERS STD. DETAIL No. **SI-2**

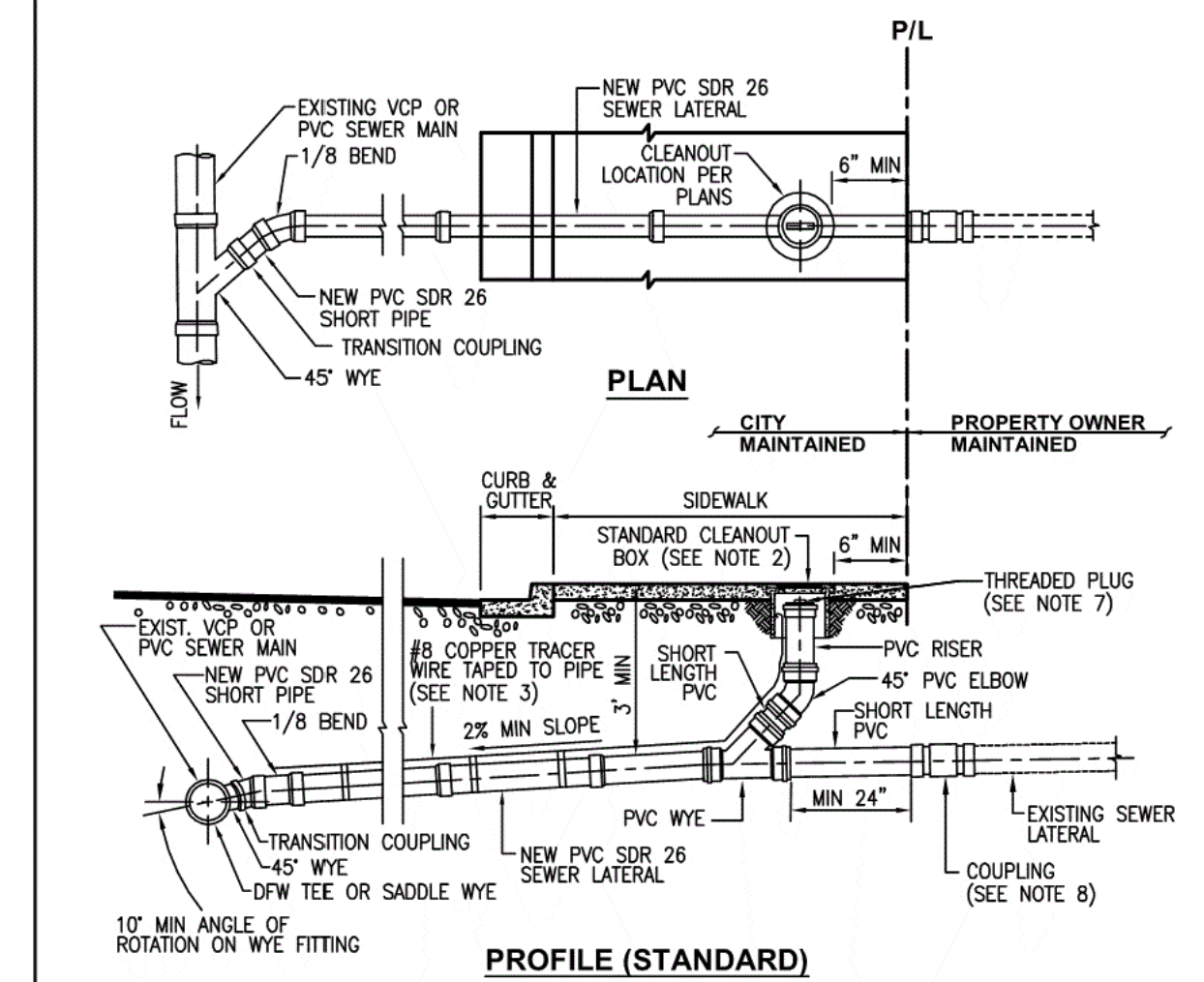
NOTES:  
1. EXPANSION JOINTS WITH DOWELS TO BE PLACED EACH 20' EXCEPT AT RETURNS.  
2. PAVING AT GUTTER LIP SHALL CONFORM TO DETAIL "A" IN ALL CASES, EXCEPT WHERE STREET SLOPES AWAY FROM GUTTER, IN WHICH CASE PAVEMENT SURFACE SHALL MATCH GUTTER LIP.  
3. CONCRETE TO BE CLASS "A".  
4. THE RELATIVE COMPACTION OF MATERIAL BELOW ALL CURB, GUTTER & SIDEWALK SHALL NOT BE LESS THAN 95%.  
5. BASE ROCK TO BE EXTENDED A MINIMUM OF 2' BEYOND LIP OF GUTTER PRIOR TO POURING CONCRETE.  
6. WHERE NEW CURB AND GUTTER IS TO BE POURED IN EXISTING STREETS REMOVE A 12" WIDE SECTION OF ASPHALT AND REPLACE WITH DEEP LIFT ASPHALT.

DRAWING NAME: \\BKF-r-c\data\2018\180123\_320 Church Street\ENG\chsheets.dwg PLOT DATE: 06-23-23 PLOTTED BY: wort



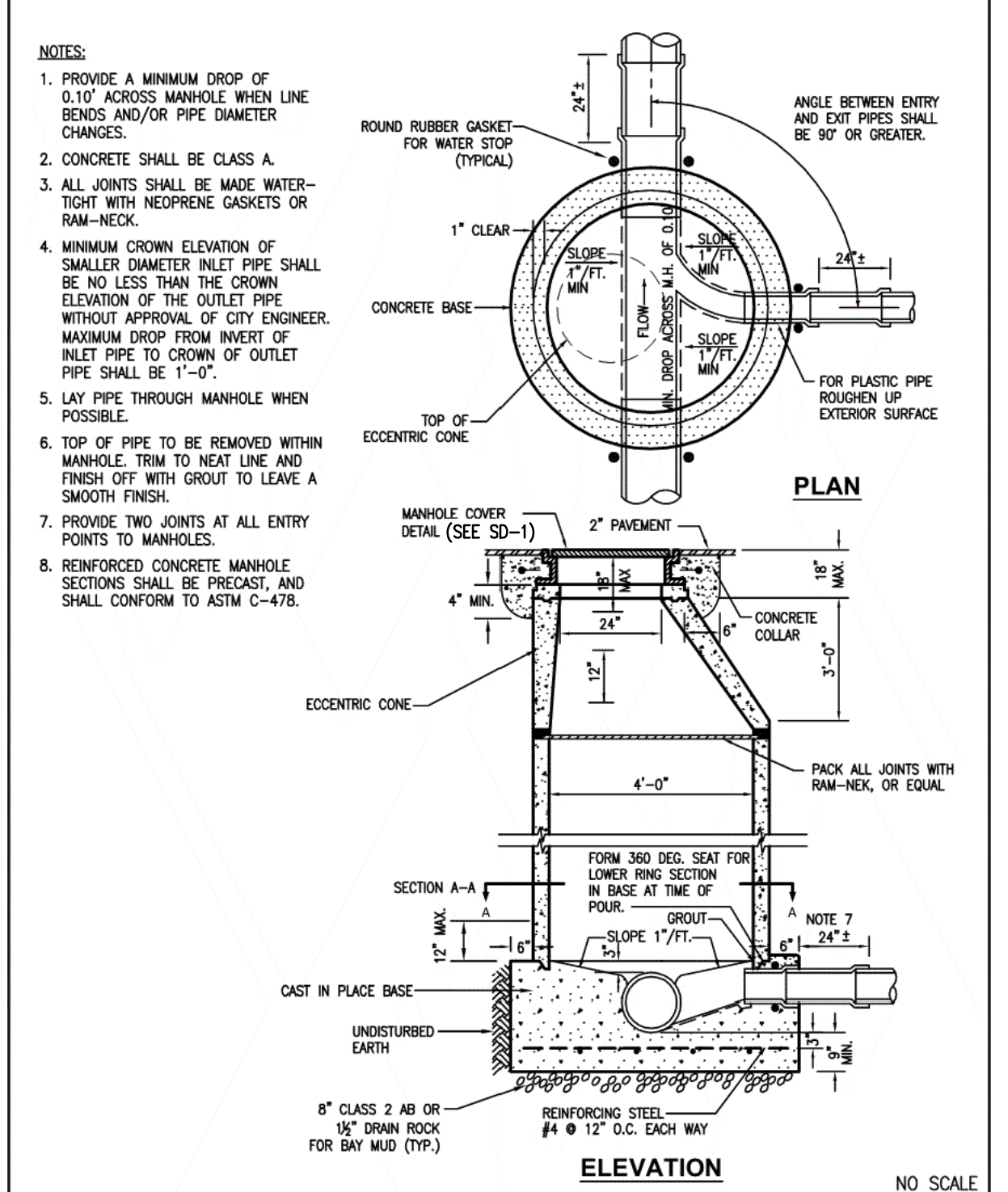
CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**ABS OR PVC CLEANOUT TO GRADE (SEWER CONNECTED TO RISER)**  
 STD. DETAIL No. **SS-8**

**7 SANITARY/STORM DRAIN CLEANOUT** NO SCALE



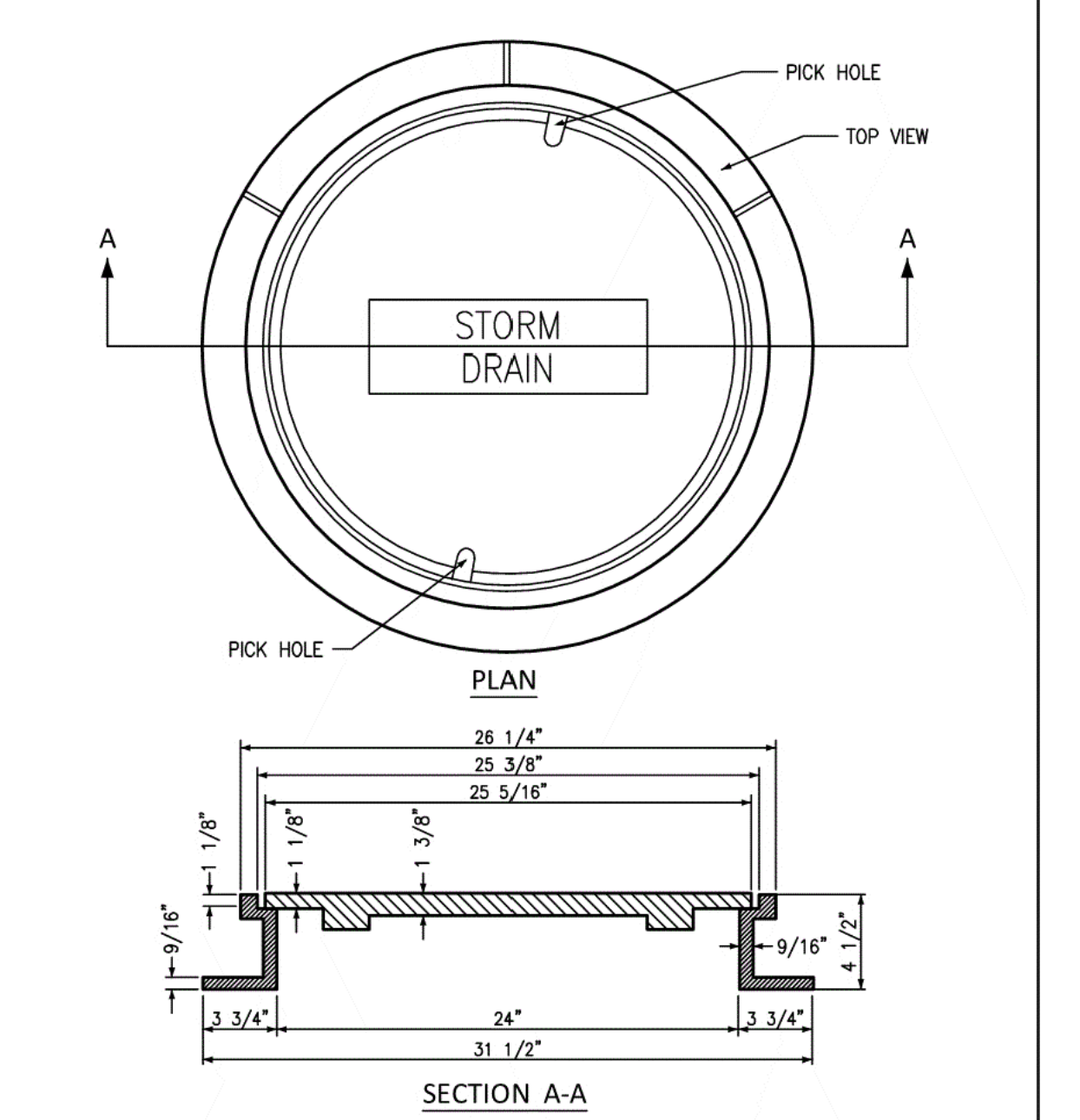
CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**STANDARD SEWER LATERAL AND CLEANOUT**  
 STD. DETAIL No. **SS-7**

**5 SS LATERAL CONNECTION** NO SCALE  
**CITY OF HALF MOON BAY**



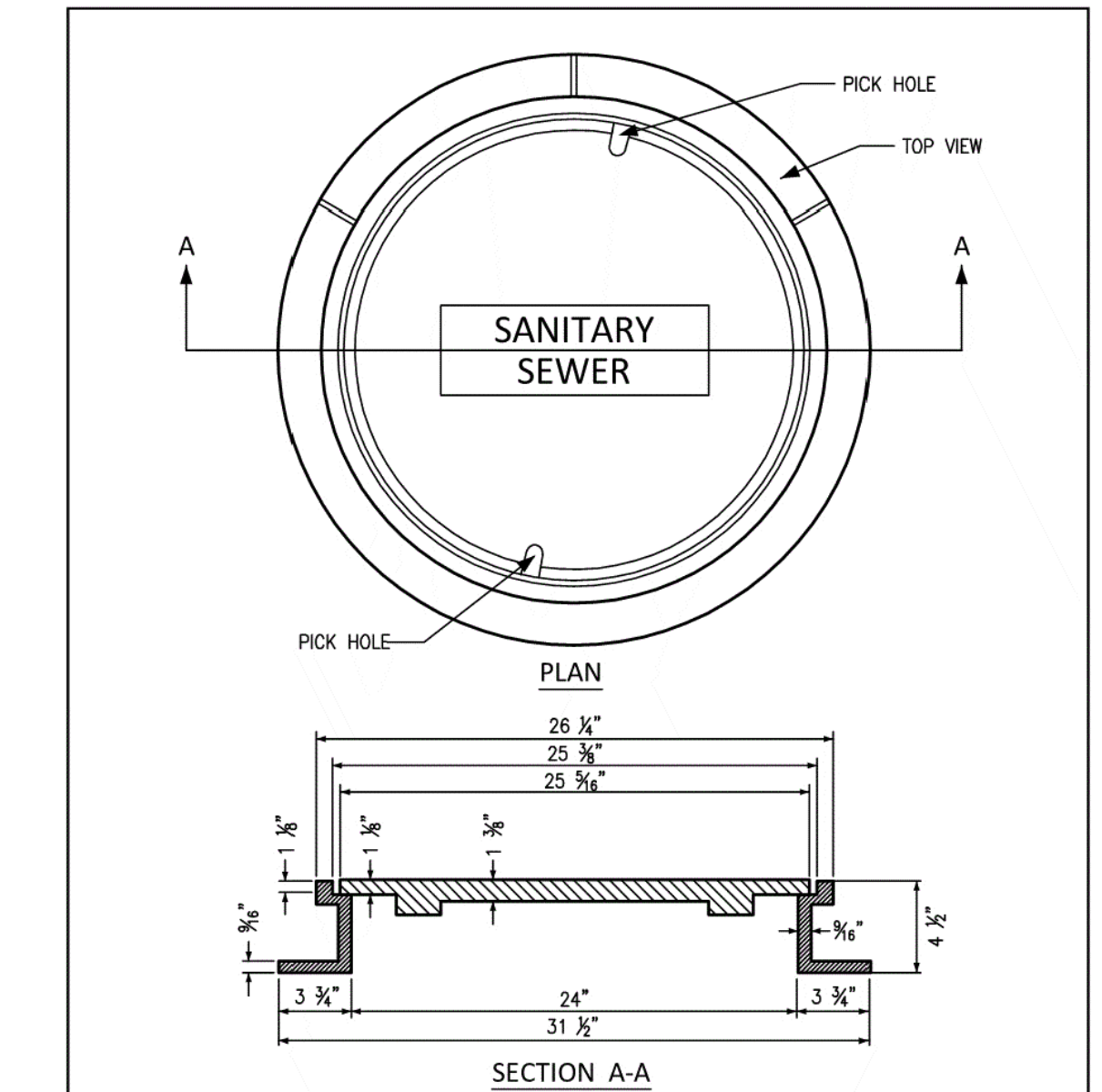
CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**TYPE I MANHOLE (PIPES 6" TO 21" DIAMETER)**  
 STD. DETAIL No. **SS-3**

**3 TYPE I MANHOLE** NO SCALE  
**CITY OF HALF MOON BAY**



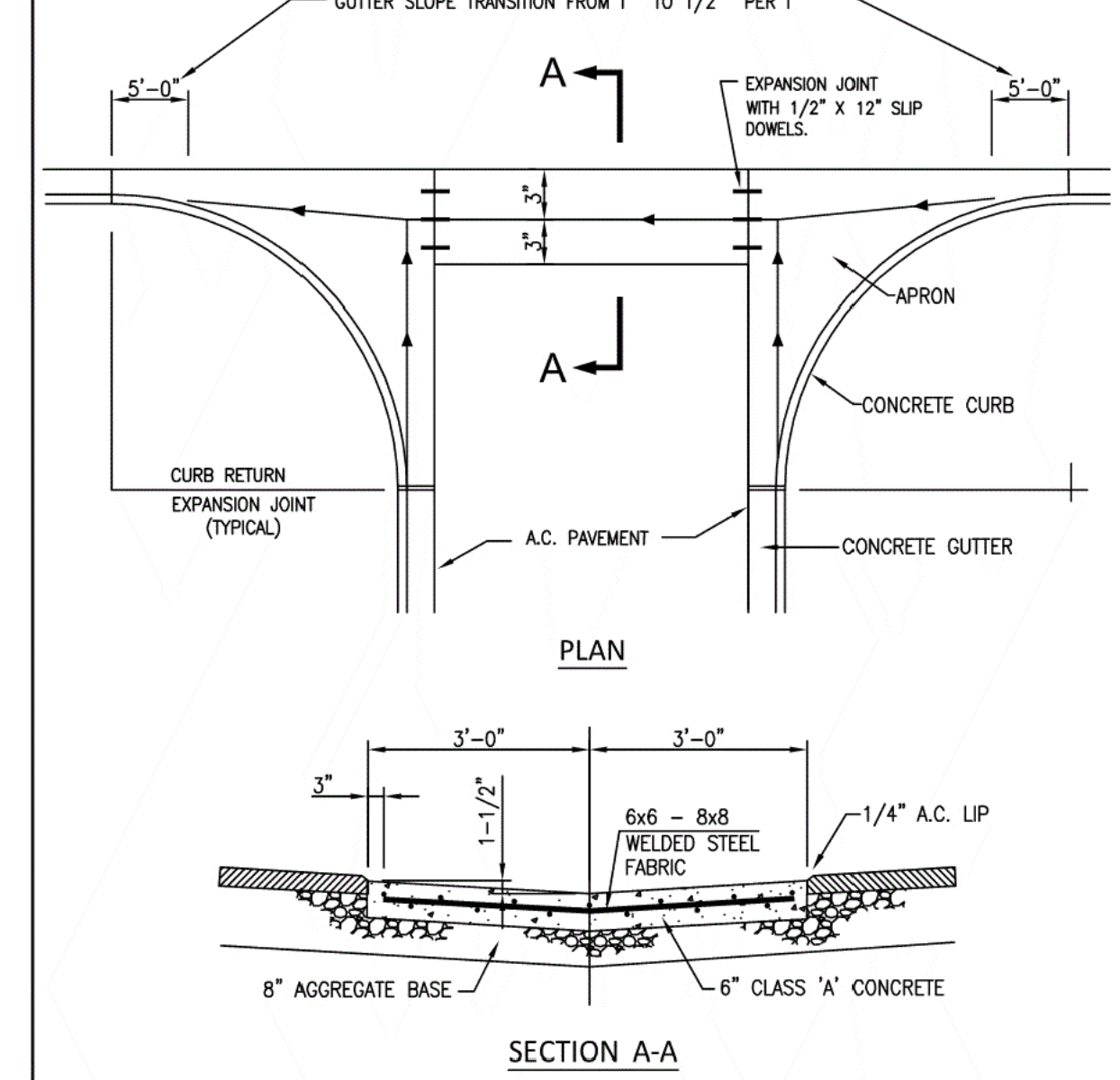
CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**STANDARD 24" MANHOLE FRAME AND COVER**  
 STD. DETAIL No. **SD-1**

**1 STORM DRAIN MANHOLE COVER** NO SCALE  
**CITY OF HALF MOON BAY**



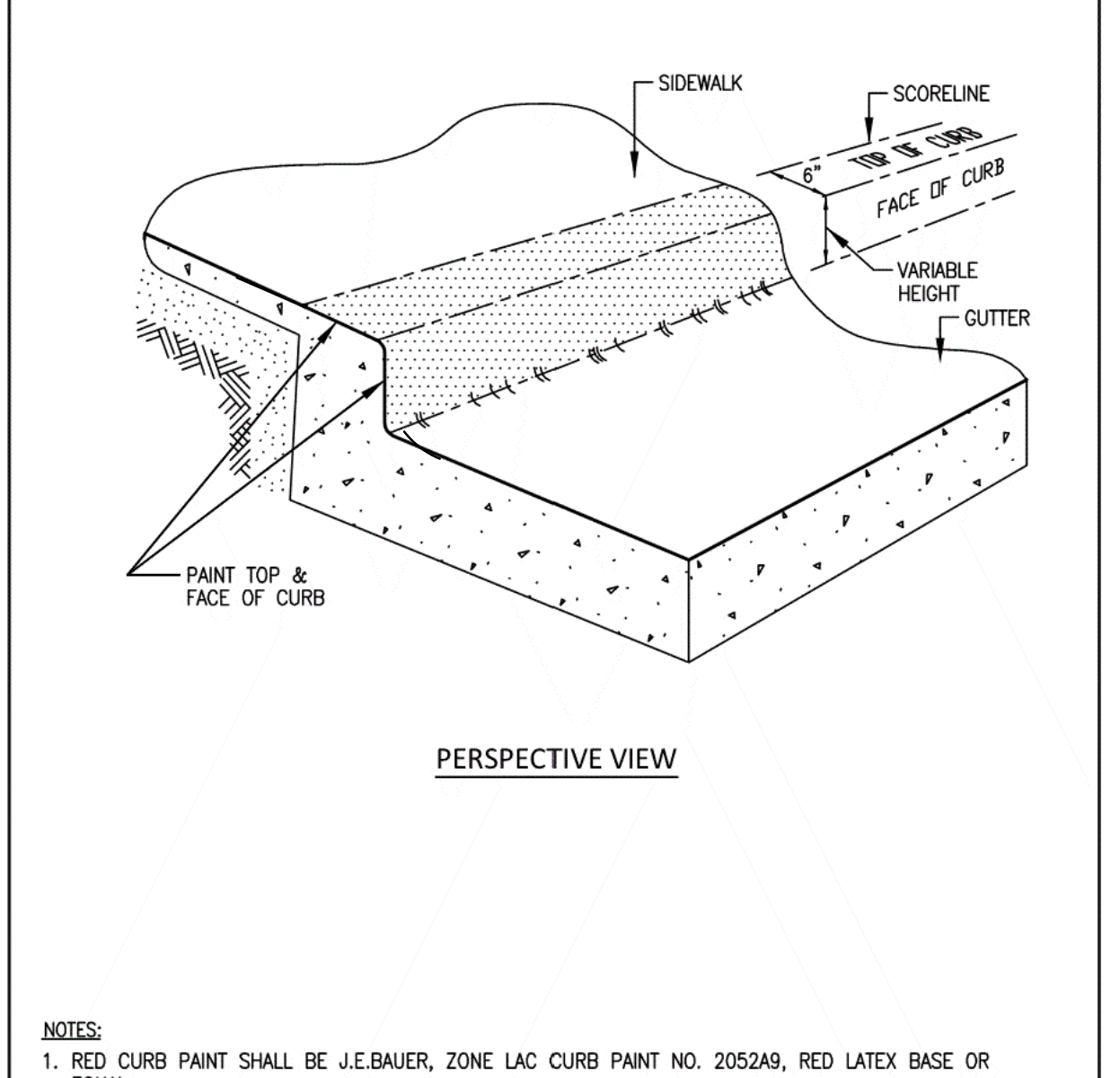
CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**SEWER MANHOLE COVER**  
 STD. DETAIL No. **SS-2**

**8 SEWER MANHOLE COVER** NO SCALE  
**CITY OF HALF MOON BAY**



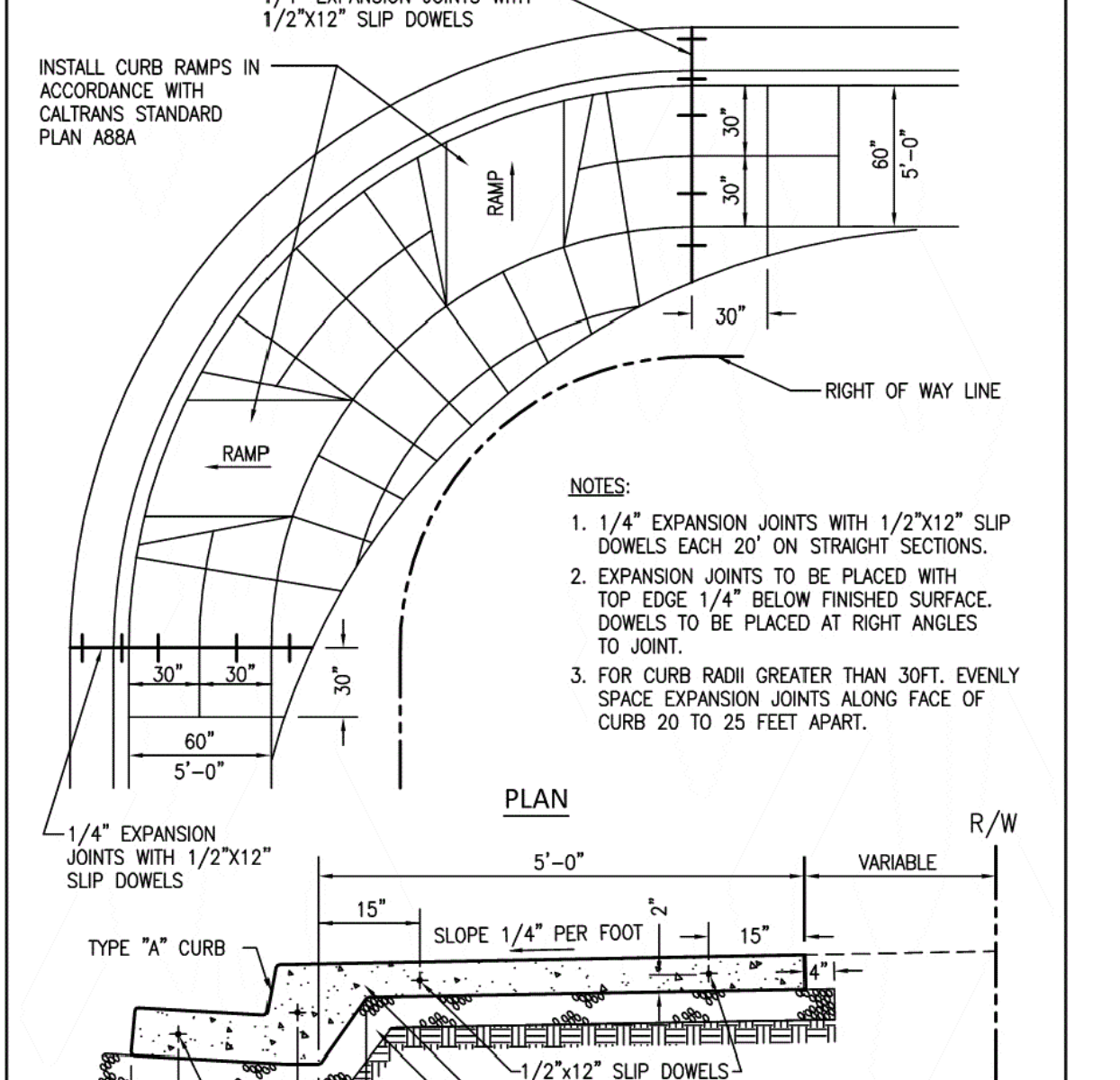
CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**VALLEY OR CROSS GUTTER**  
 STD. DETAIL No. **SI-1**

**6 VALLEY OR CROSS GUTTER** NO SCALE  
**CITY OF HALF MOON BAY**



CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**RED CURB PAINTING**  
 STD. DETAIL No. **SI-11**

**4 RED CURB PAINTING** NO SCALE  
**CITY OF HALF MOON BAY**



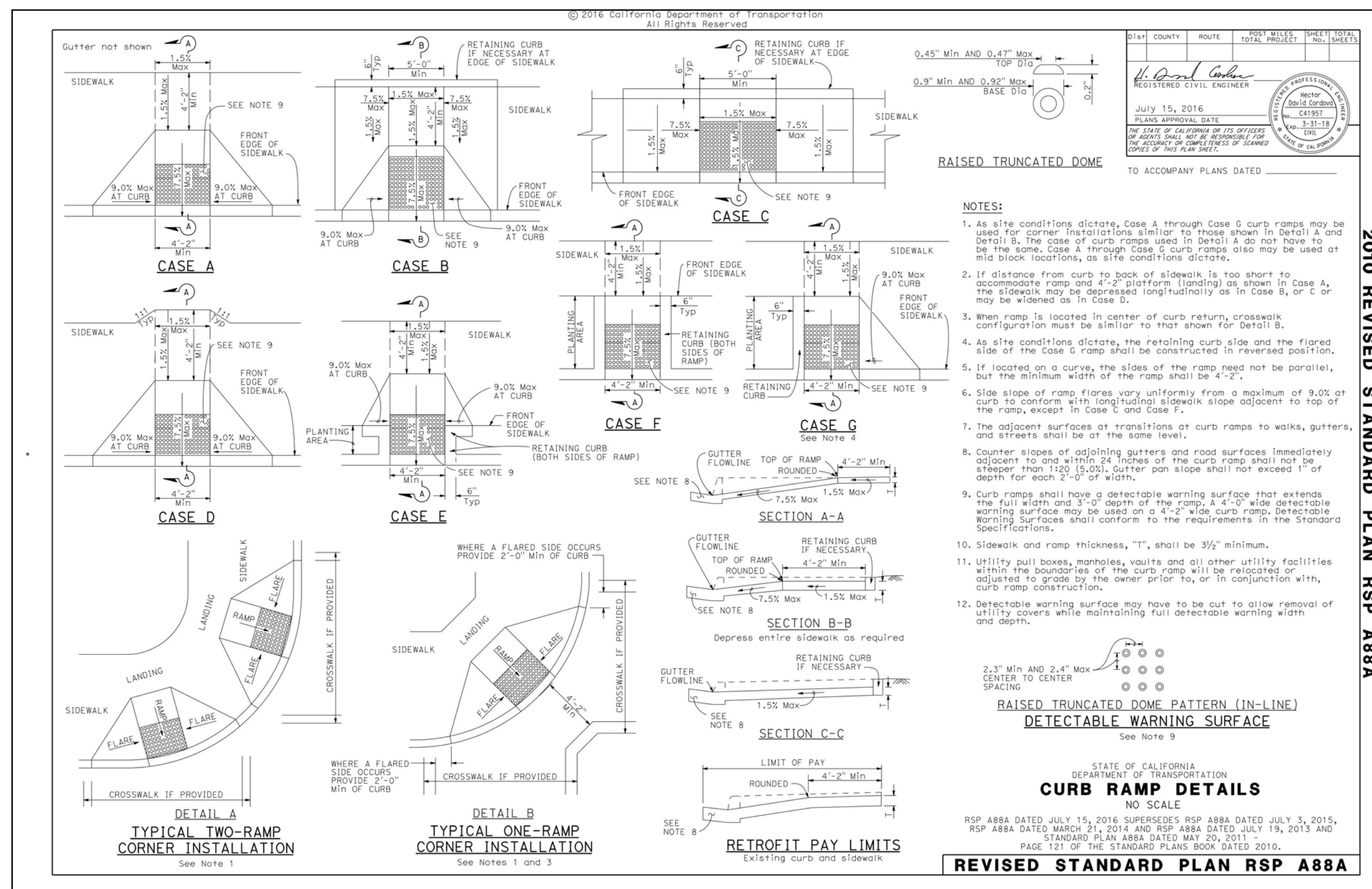
CITY OF HALF MOON BAY, CALIFORNIA STANDARD DETAIL  
 APPROVED BY: PEYMAN ABBASSI, P.E. CITY ENGINEER  
 DATE: JULY 19, 2018  
**SIDEWALK DETAIL (MONOLITHIC)**  
 STD. DETAIL No. **SI-3**

**2 SIDEWALK** NO SCALE  
**CITY OF HALF MOON BAY**

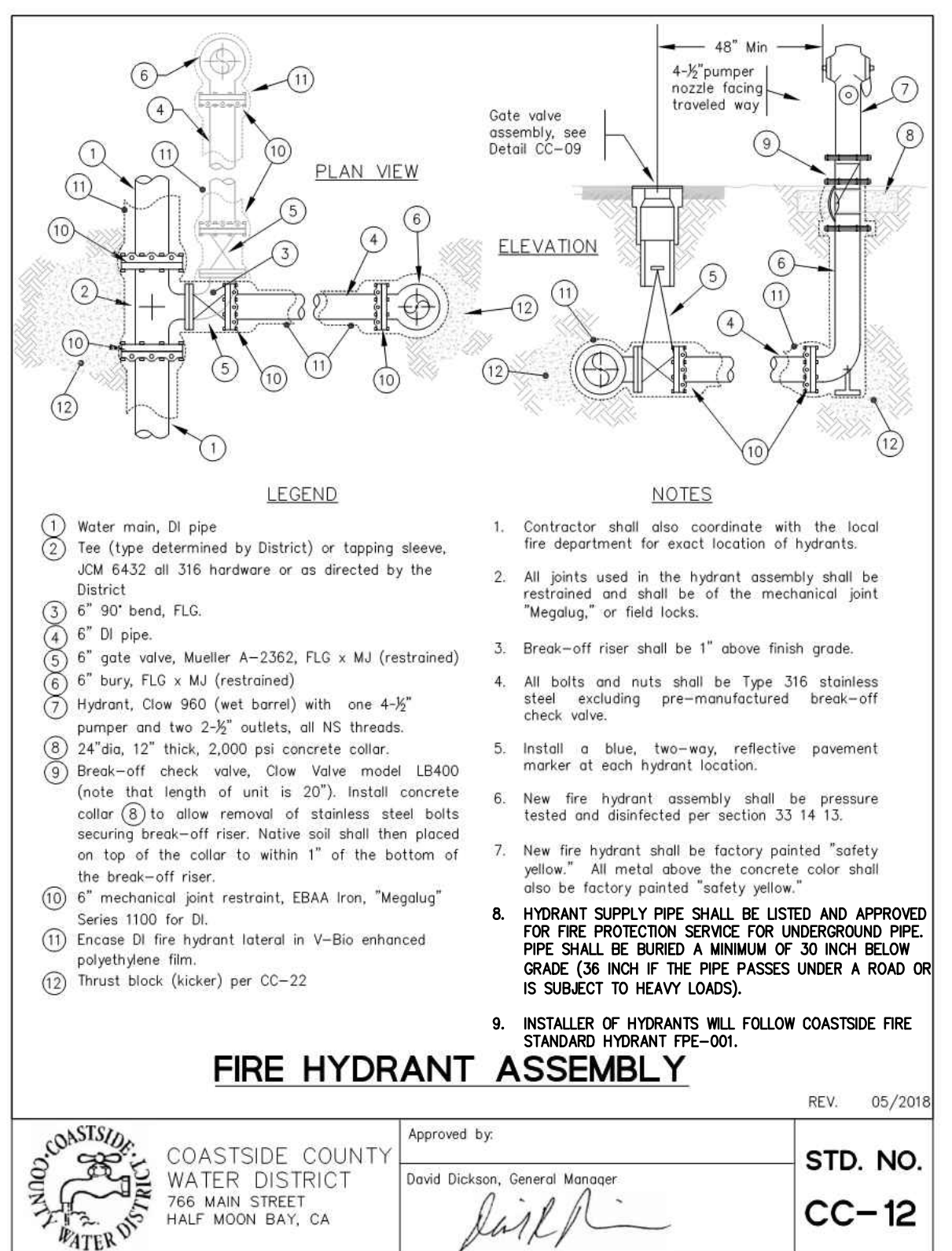
DRAWING NAME: \\BKF-r-c\data\2018\180123\_320\_Church\_Street\ENG\chsheets.dwg PLOT DATE: 06-23-23



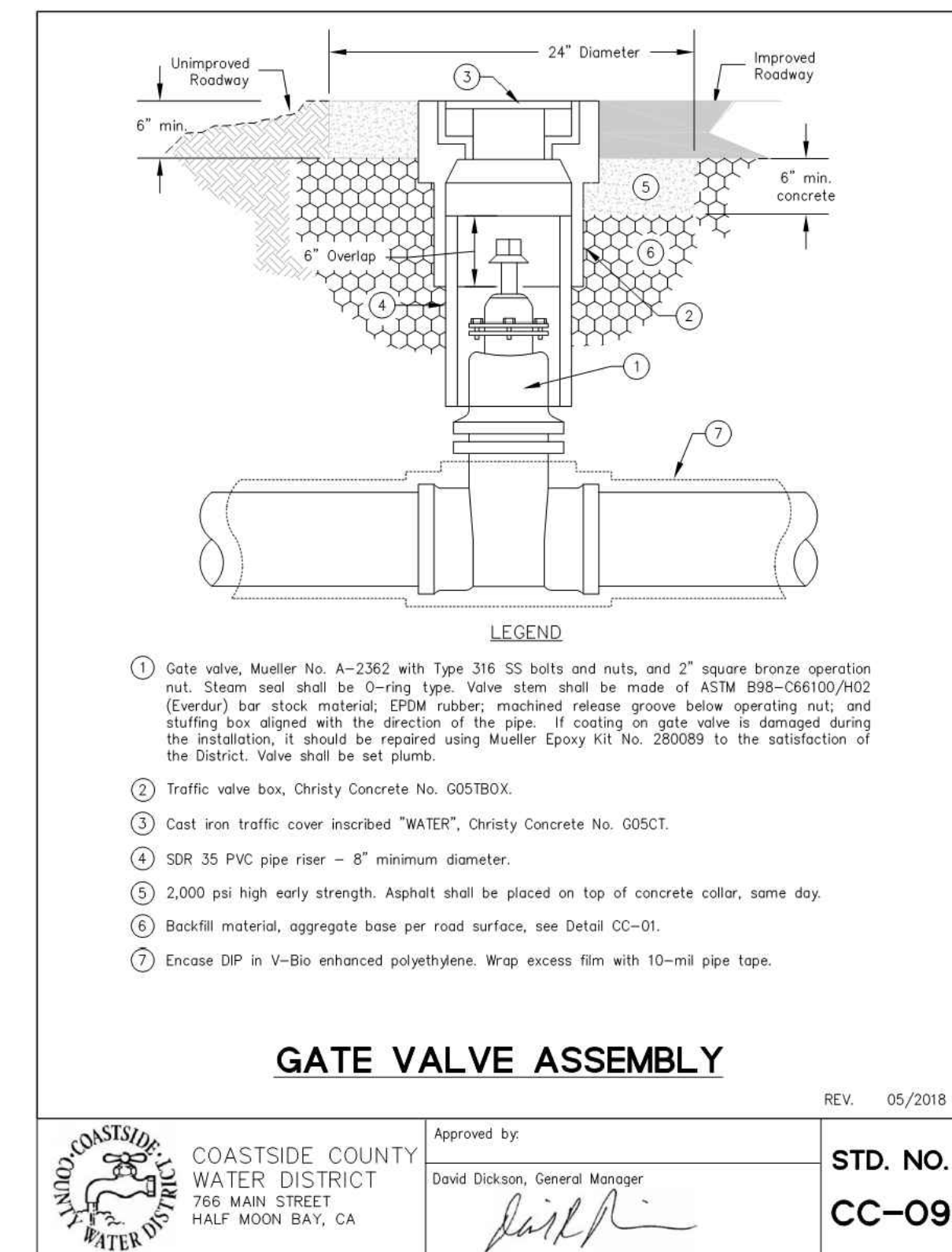
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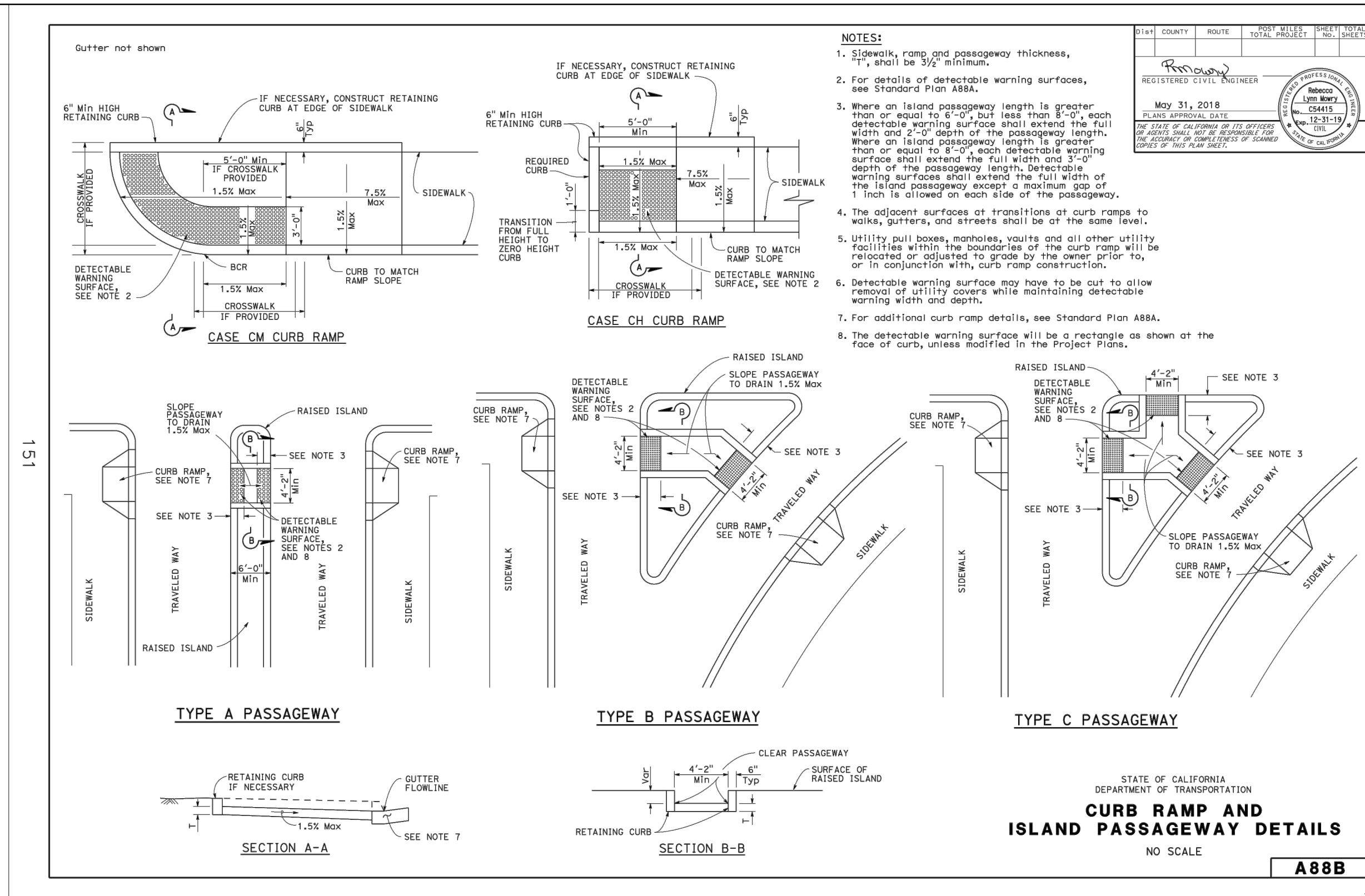
5 CURB RAMP - CALTRANS STANDARD PLAN A88A NO SCALE BR4-12-MSTR



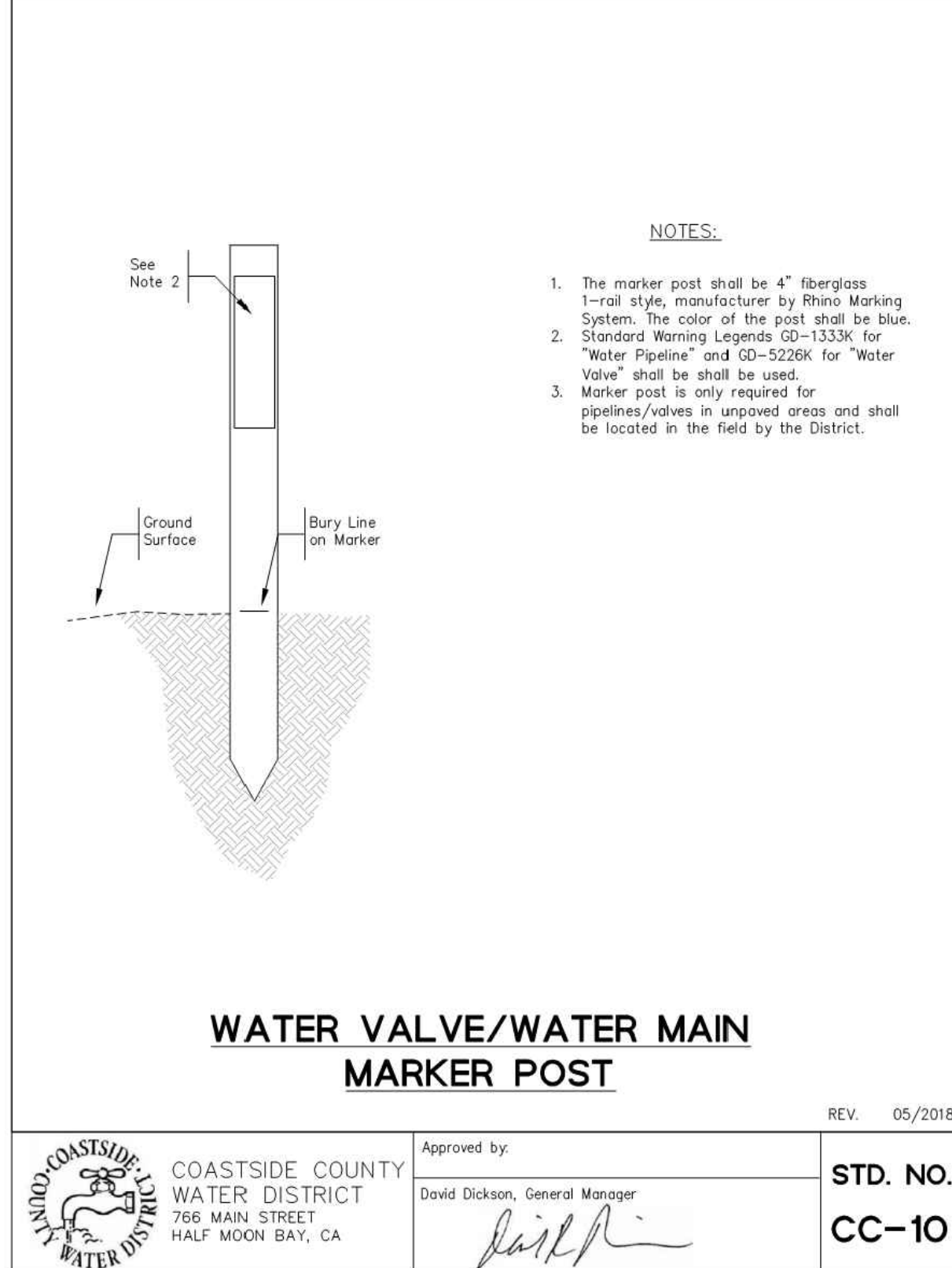
3 FIRE HYDRANT COASTSIDE COUNTY WATER NO SCALE



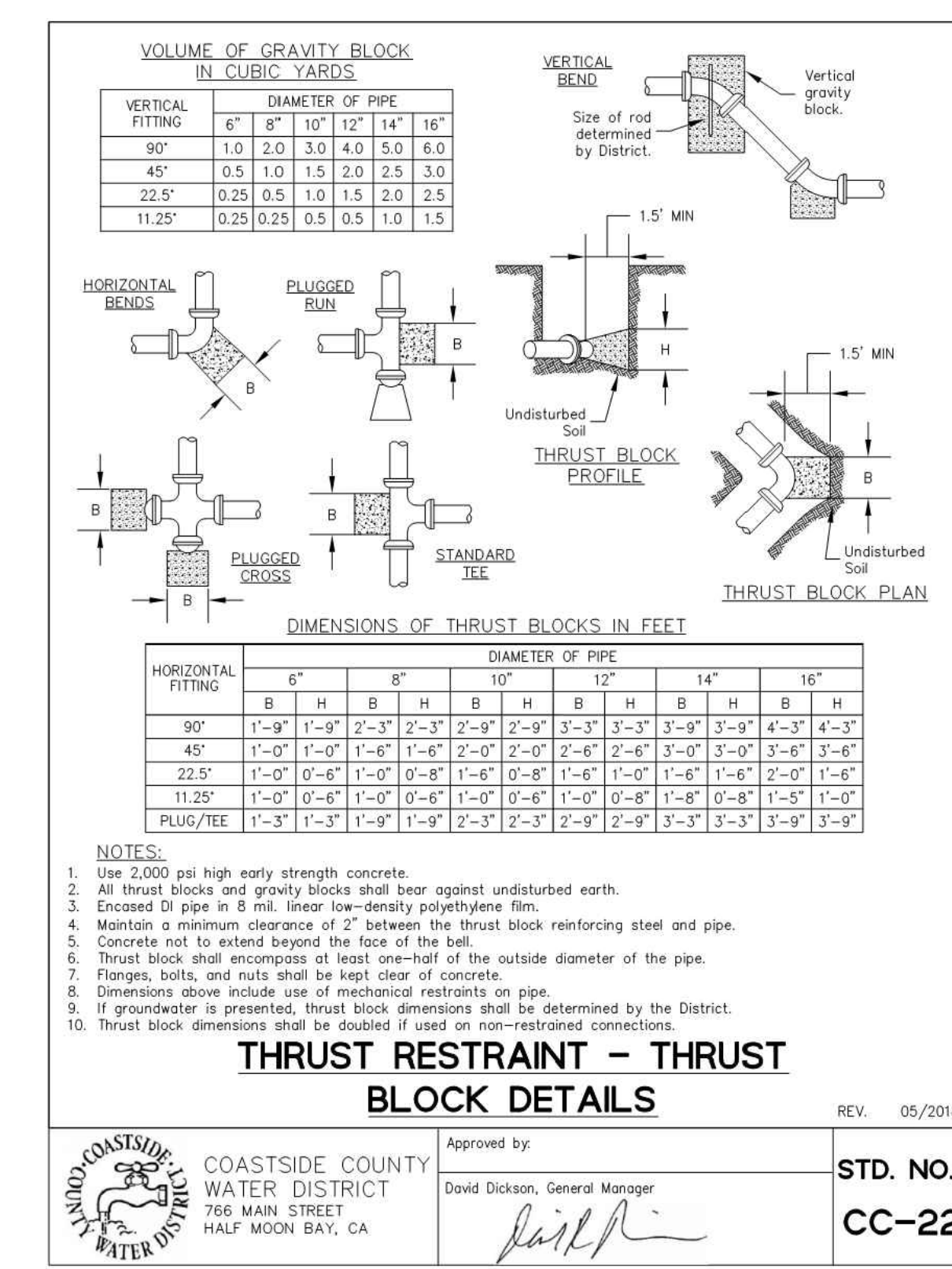
1 GATE VALVE COASTSIDE COUNTY WATER NO SCALE



6 CURB RAMP - CALTRANS STANDARD PLAN A88B NO SCALE BR4-12-MSTR



4 WATER VALVE/WATER MAIN MARKER POST NO SCALE

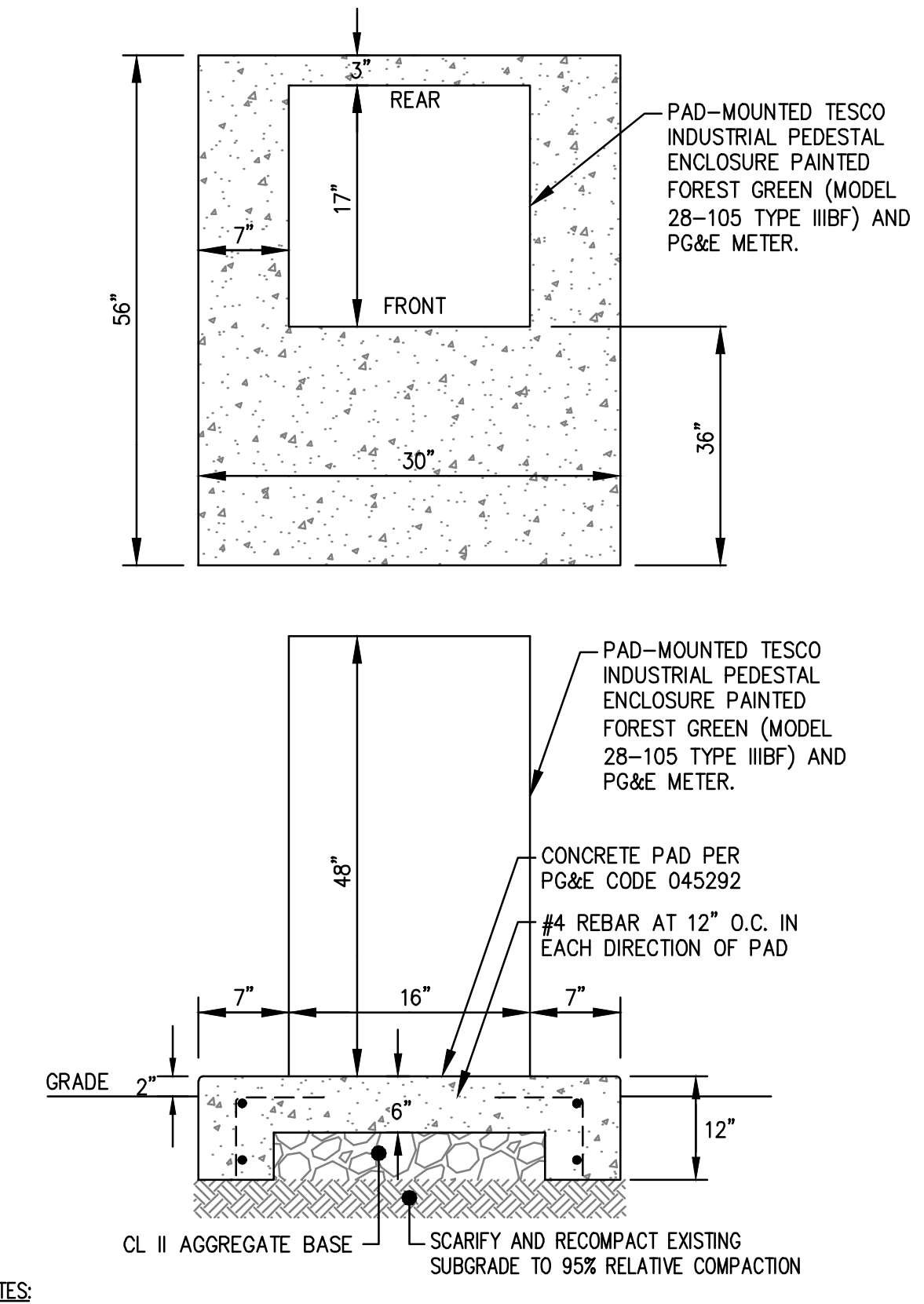


2 THRUST BLOCKS COASTSIDE COUNTY WATER NO SCALE

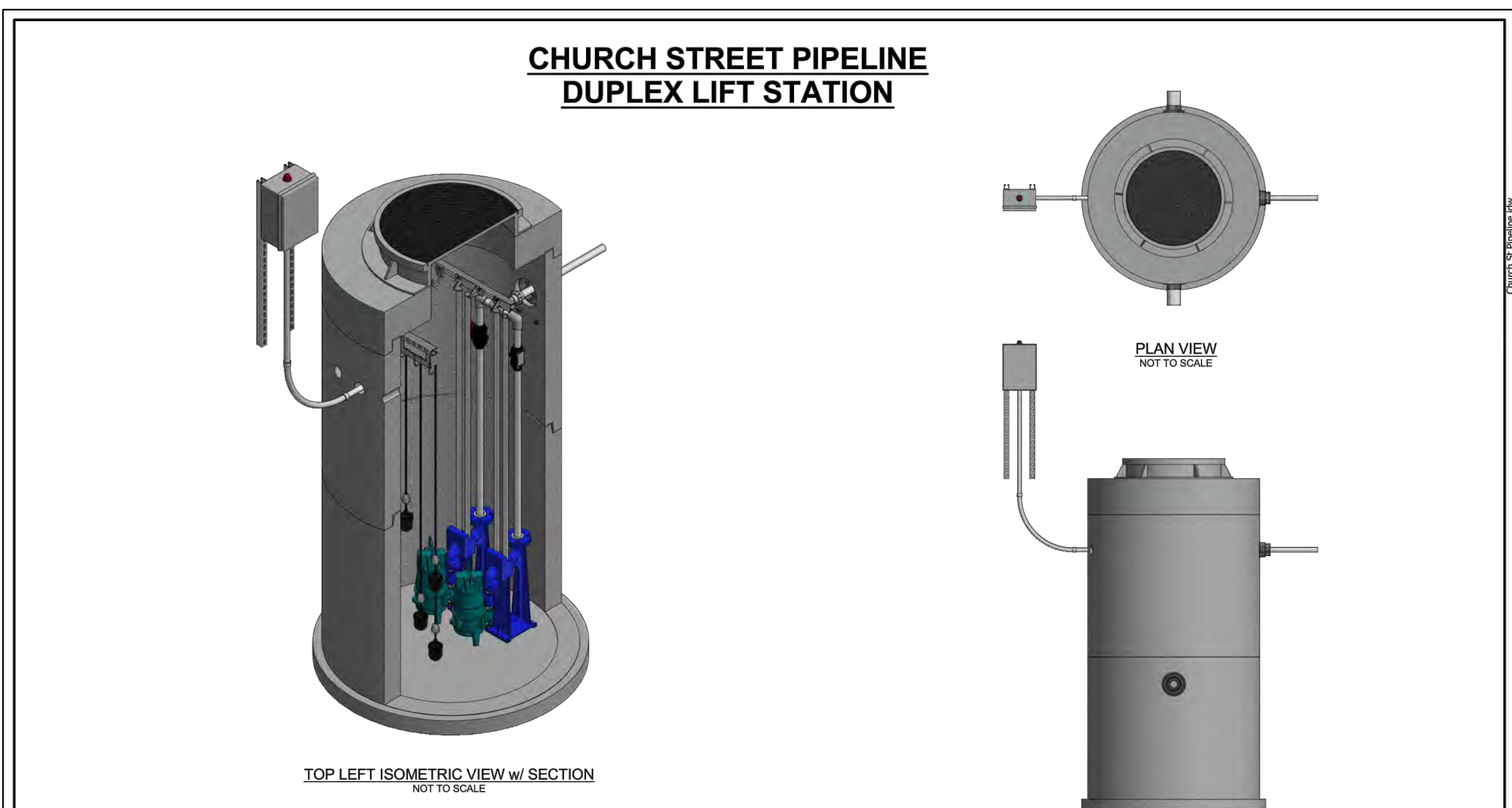
DRAWING NAME: \\BKF-r-c\dat\2018\180123\_320 Church Street\ENG\chshets.dwg PLOT DATE: 06-23-23

Date	Revisions	No.
09/02/2022	AS SHOWN	04/05/2019
07/09/2023	D/L	AS SHOWN
04/26/2023	D/P/ANK	DESIGN
05/16/2023	PLAN CHECK - COWD	REVISIONS
06/23/2023	PLAN CHECK REVISIONS	REVISIONS
	PLAN CHECK - COWD	REVISIONS

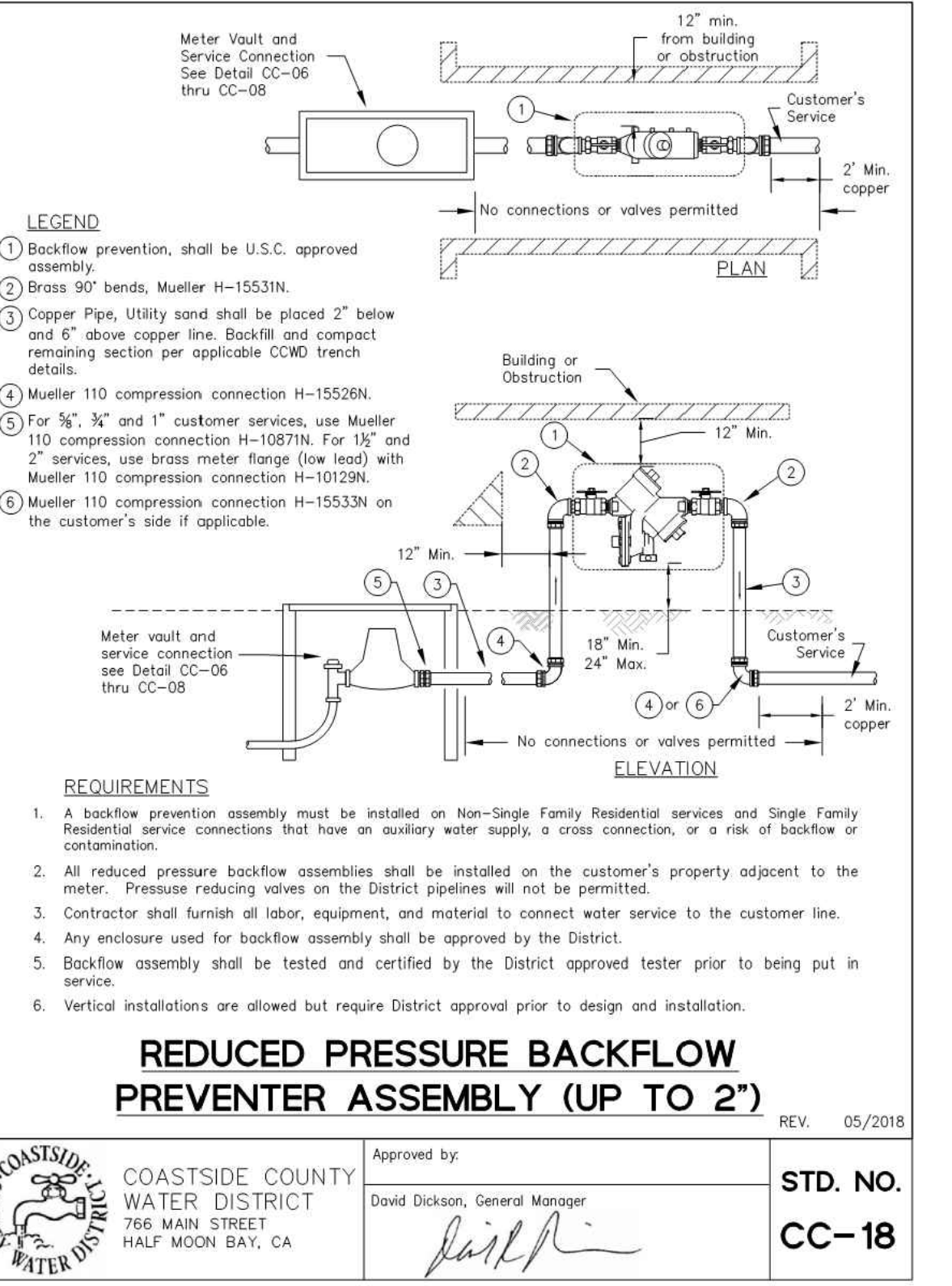
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OF



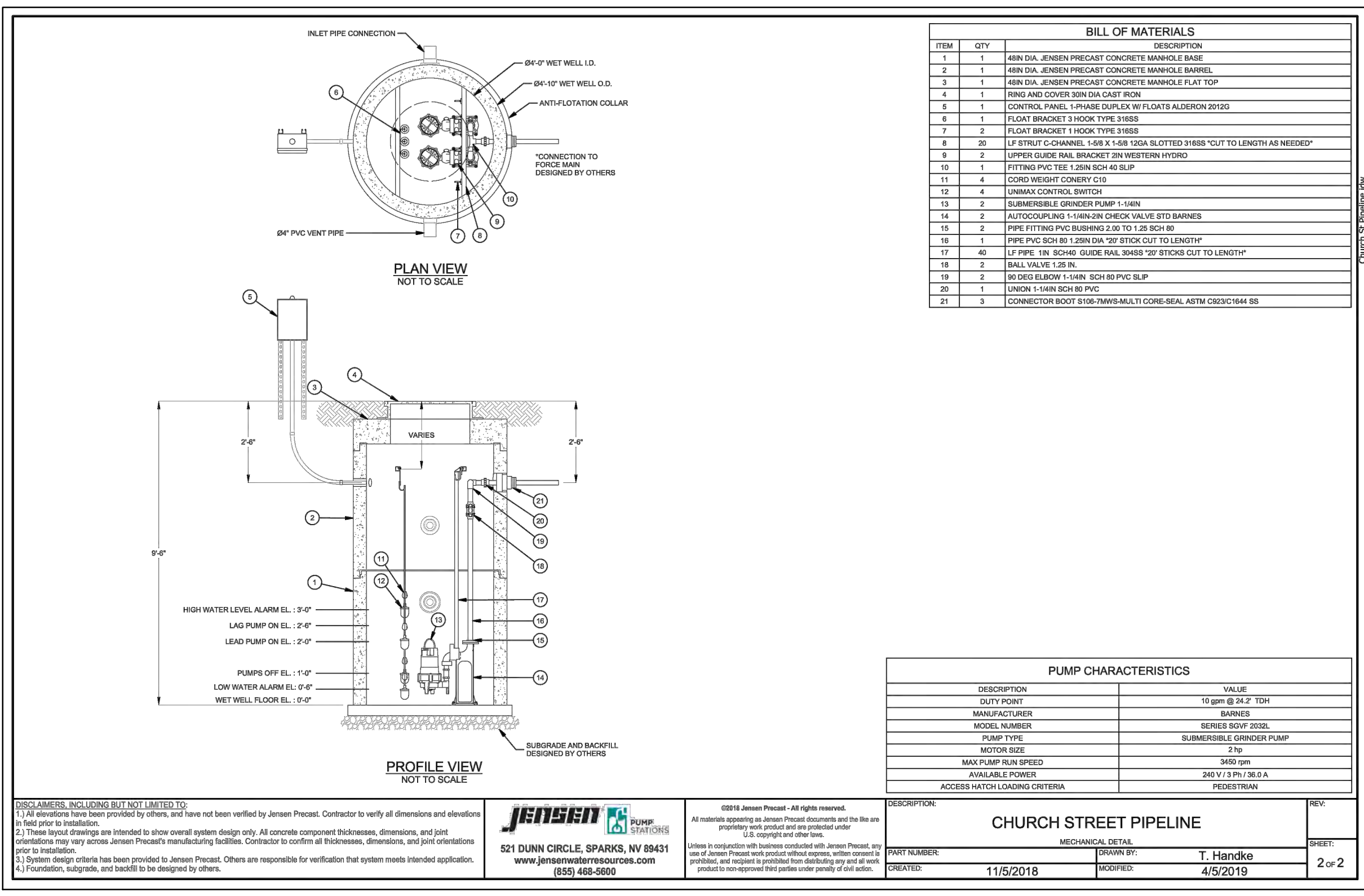
**4 ELECTRICAL PEDESTAL CONTROL PANEL** NO SCALE



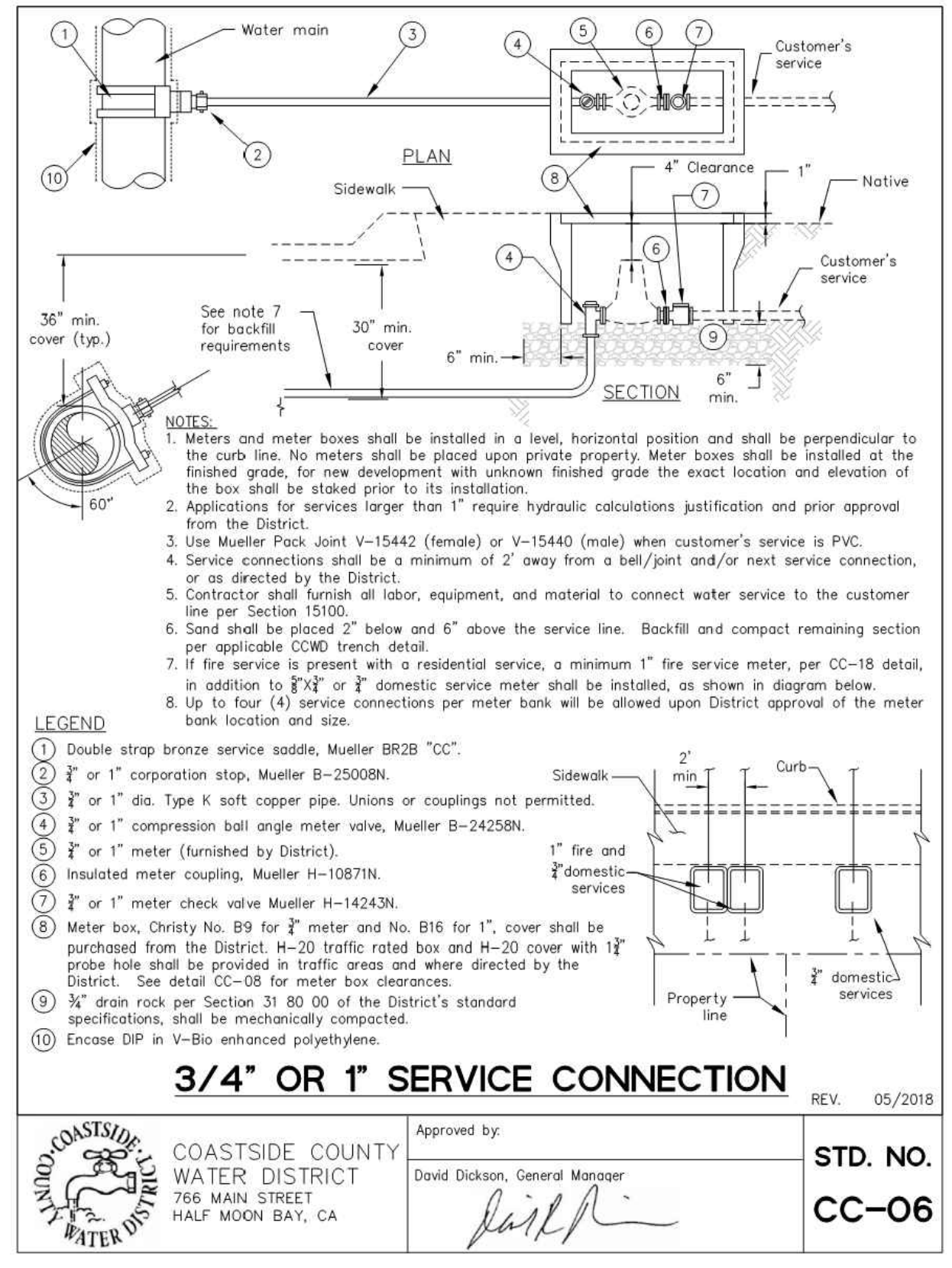
**CHURCH STREET PIPELINE** NO SCALE



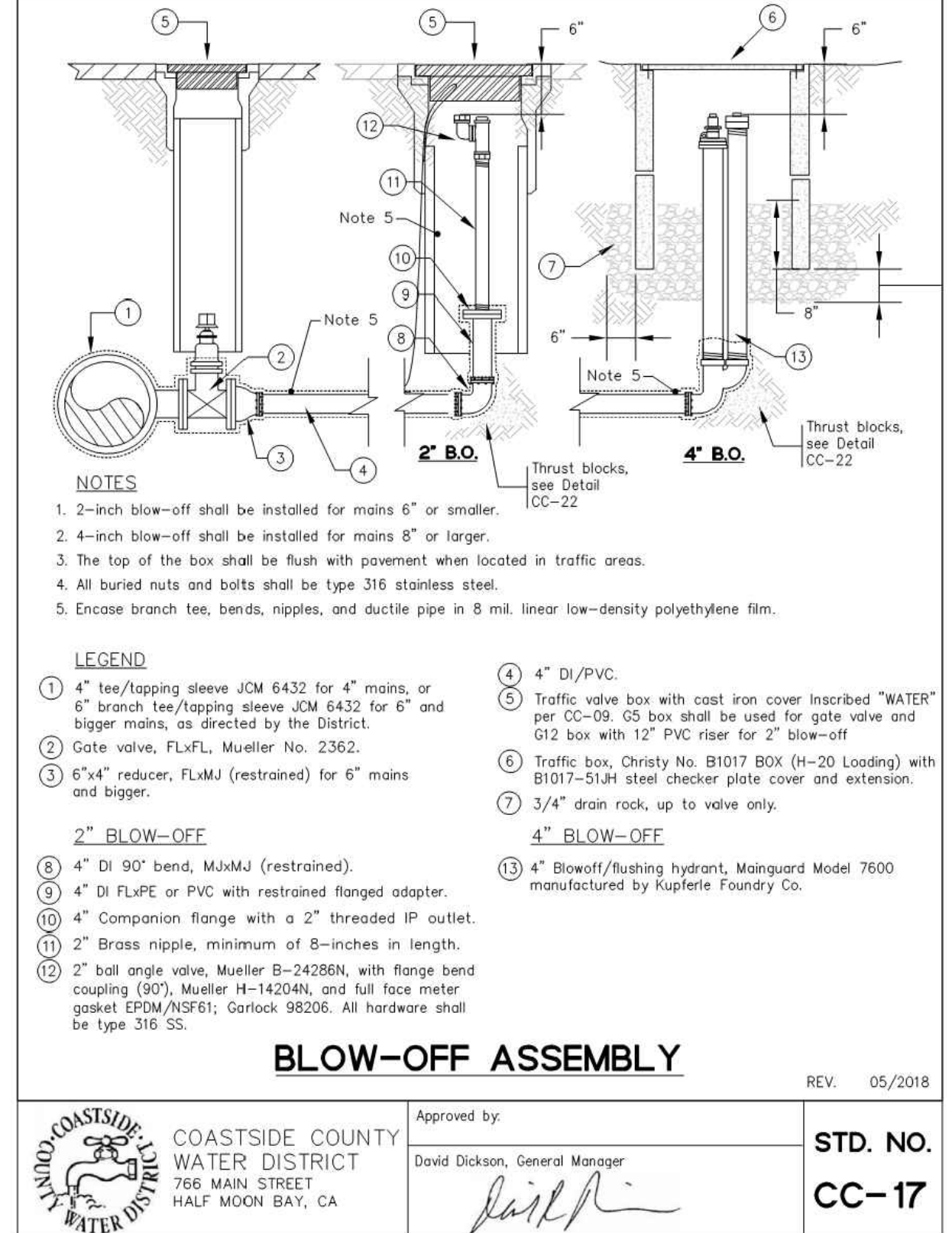
**5 BACK FLOW PREVENTOR COASTSIDE COUNTY WATER** NO SCALE



**3 SANITARY SEWER PUMP STATION - JENSEN** NO SCALE



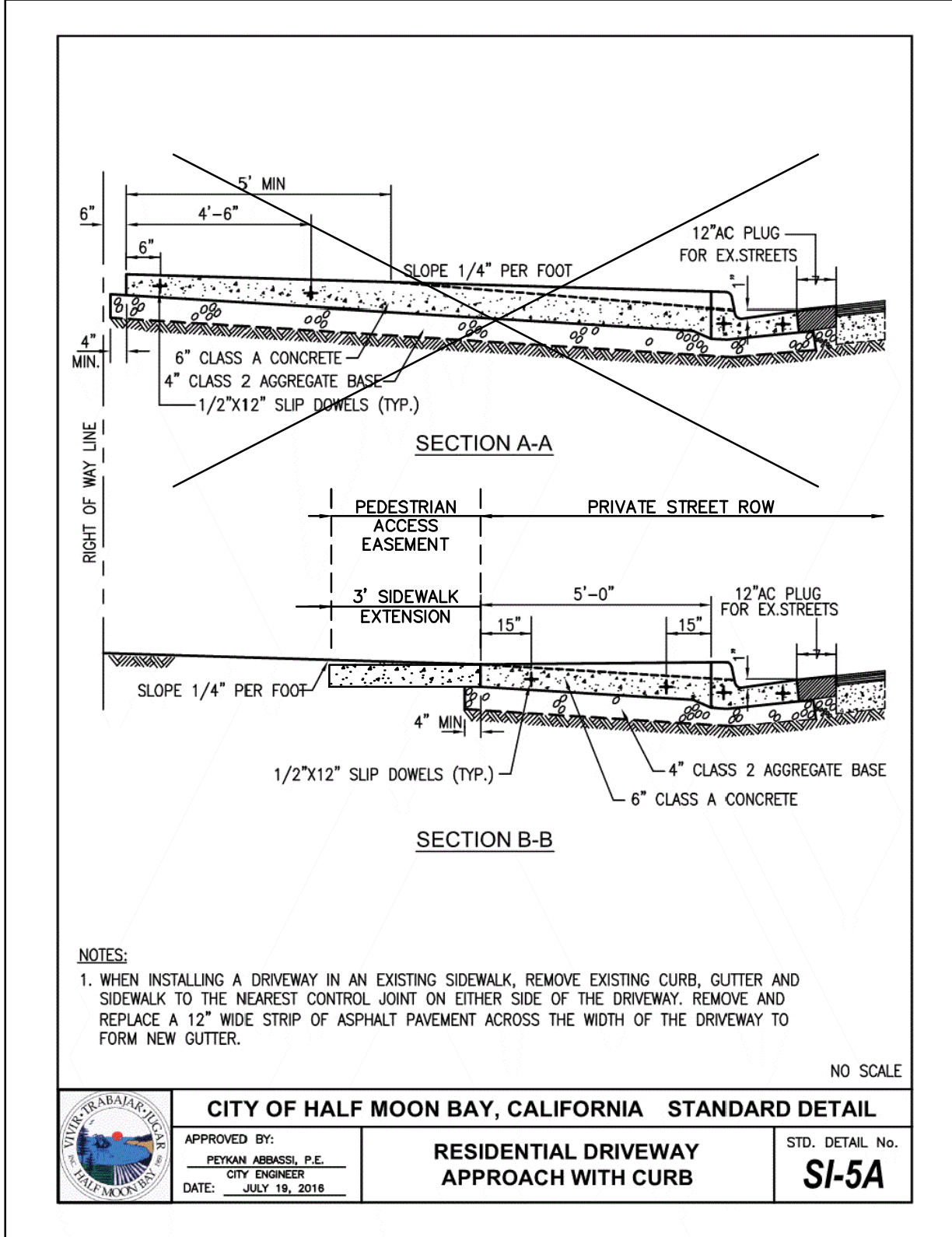
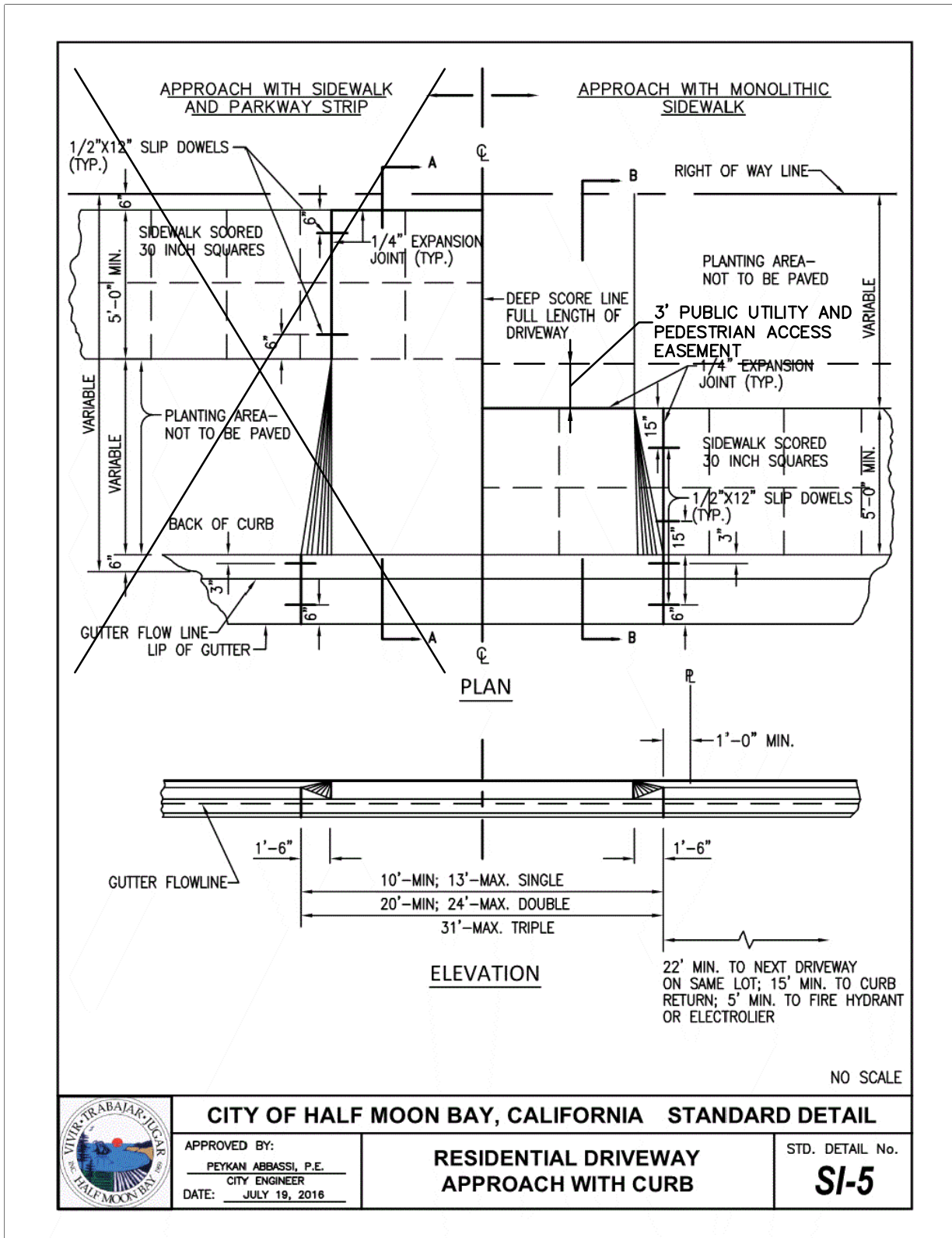
**1 3/4" DOMESTIC & 1" FIRE SERVICE CONNECTION** NO SCALE



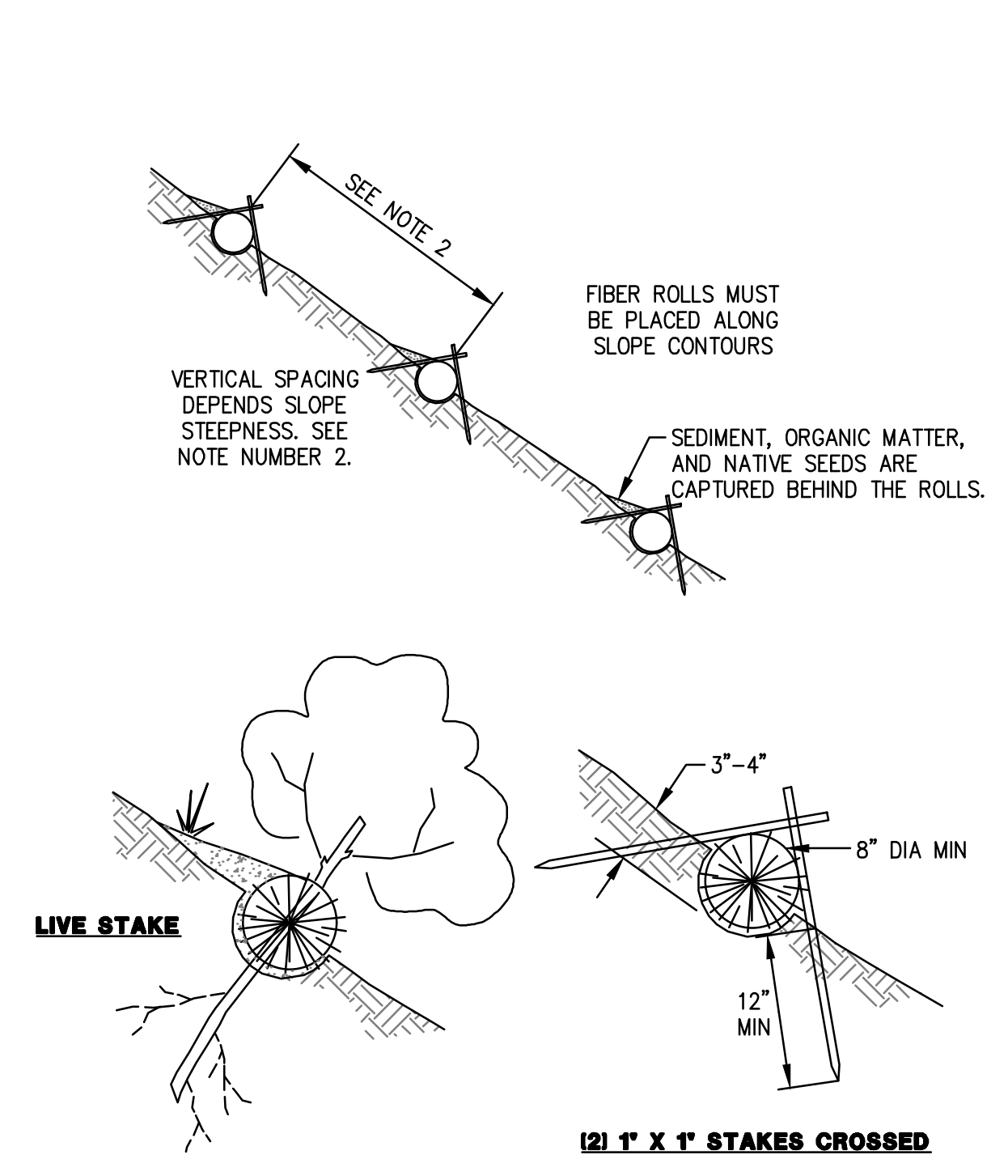
**2 BLOW OFF ASSEMBLY** NO SCALE

DRAWING NAME: \\BKF-r-c\dat\180123\_320\_Church\_Street\ENG\chsheets.dwg  
PLOT DATE: 06-23-23  
PLOT BY: wort

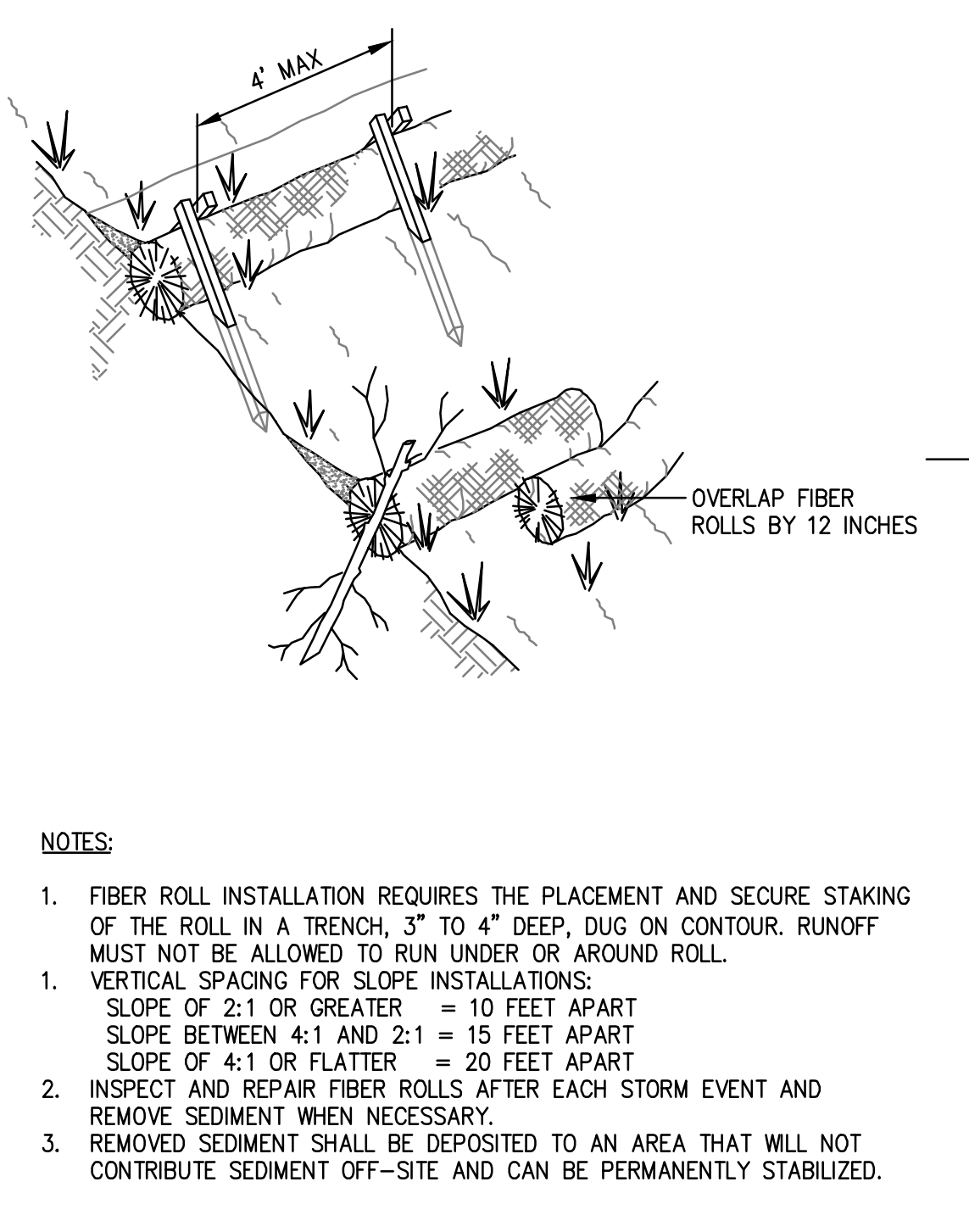
Date	Revisions	No.
09/02/2022		
01/09/2023	REVISIONS	
04/26/2023	PLAN CHECK - COWD	
05/16/2023	PLAN CHECK REVISIONS	
06/23/2023	PLAN CHECK - COWD	



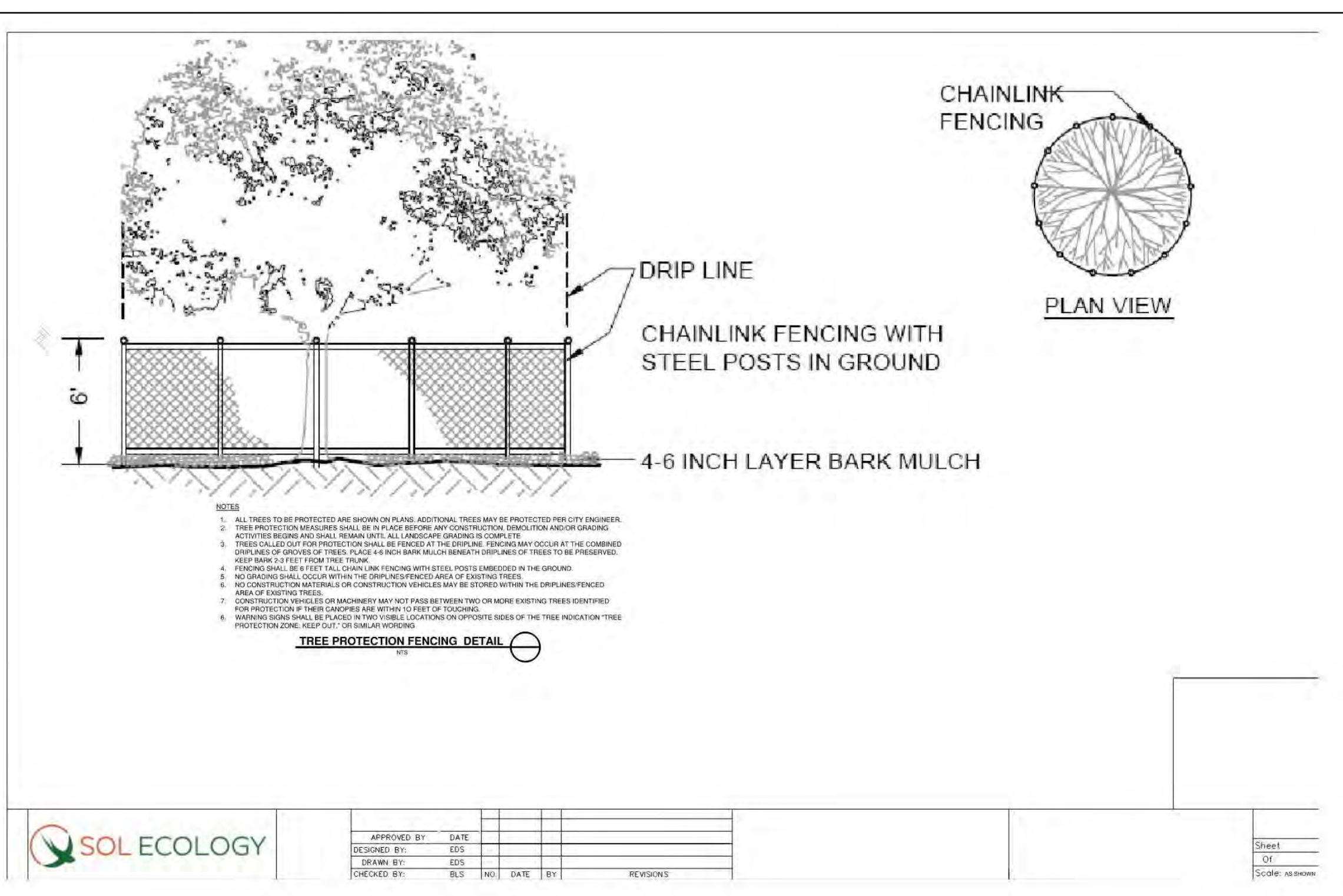
**5 RESIDENTIAL DRIVEWAY CITY OF HALF MOON BAY** NO SCALE



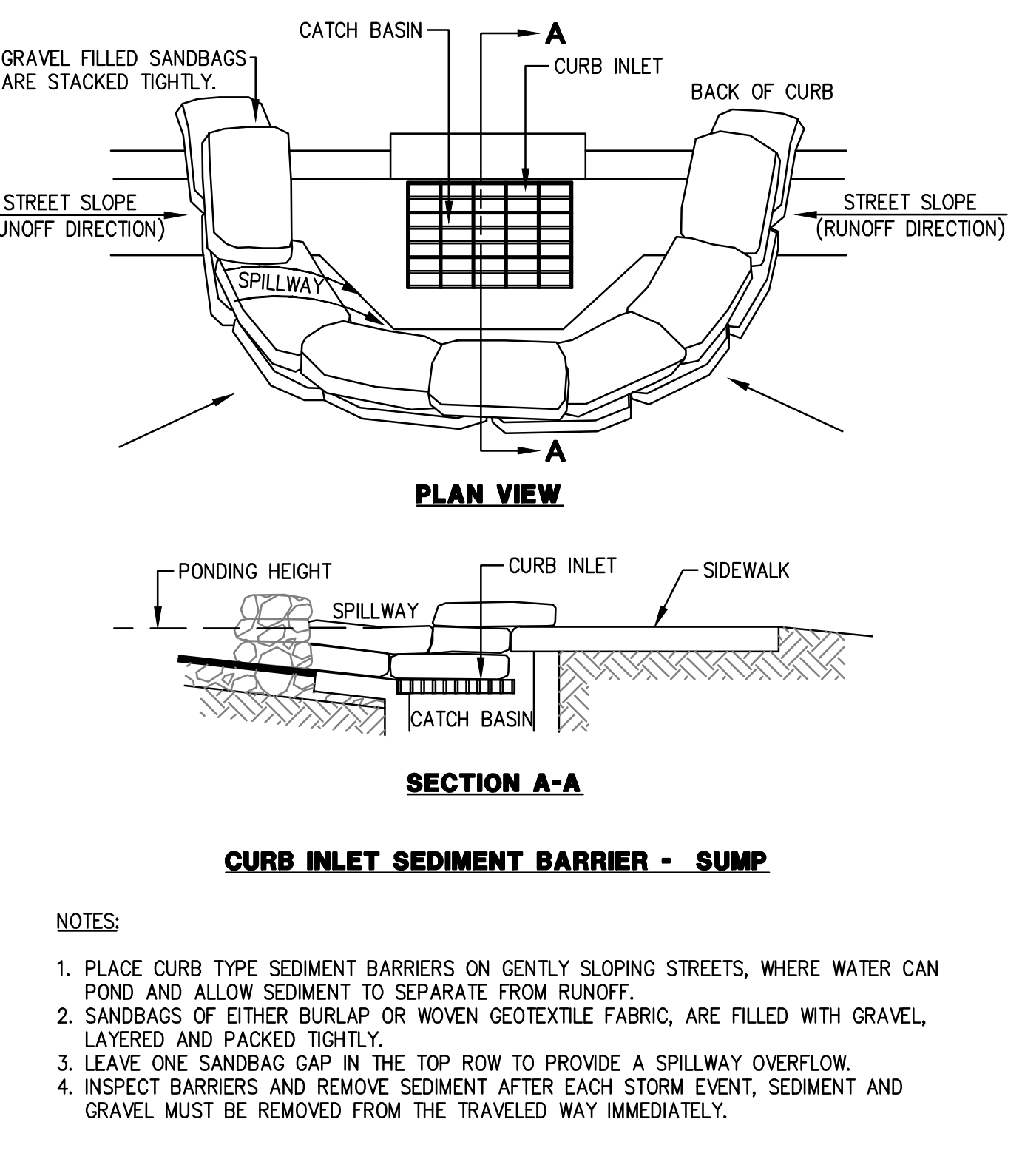
**3 FIBER ROLL** NO SCALE



**1 WATER FIXTURE FOR SEWER LIFT STATION** NO SCALE



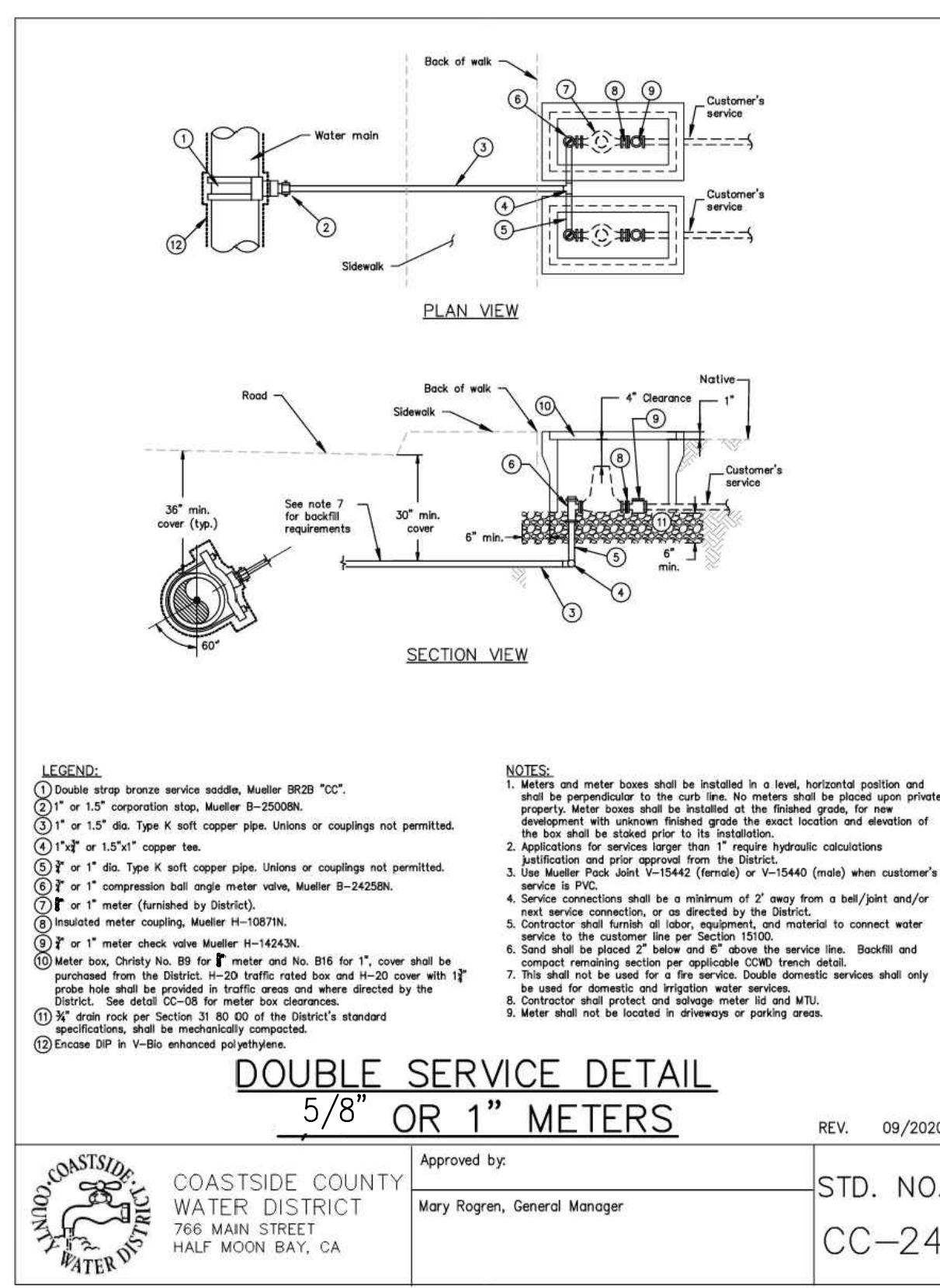
**4 TREE PROTECTION FENCING** NO SCALE



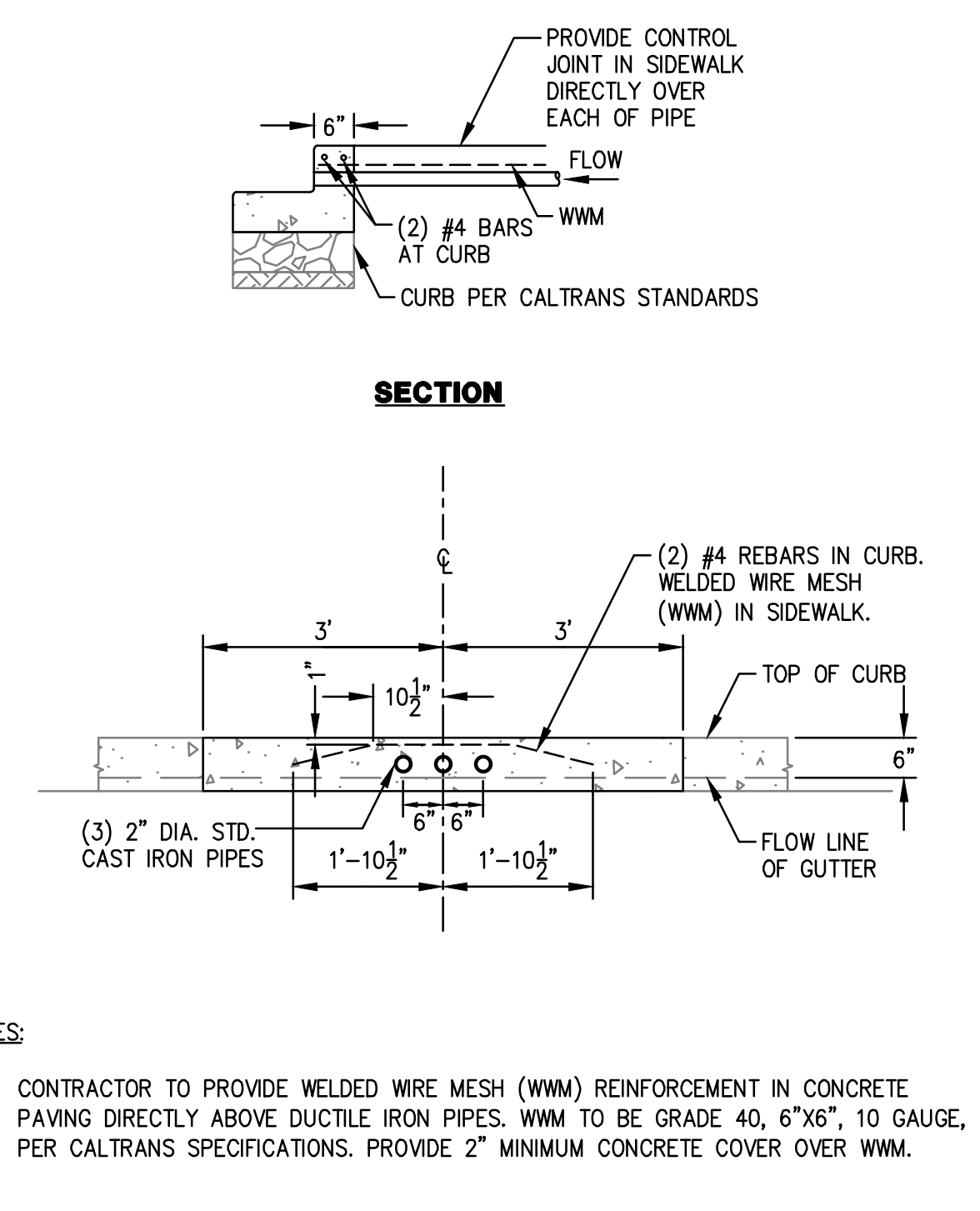
**2 INLET PROTECTION** NO SCALE

DRAWING NAME: \\BKF-r\c\dat\2018\180123\_320\_Church\_Street\ENG\chsheets.dwg PLOT DATE: 06-23-23

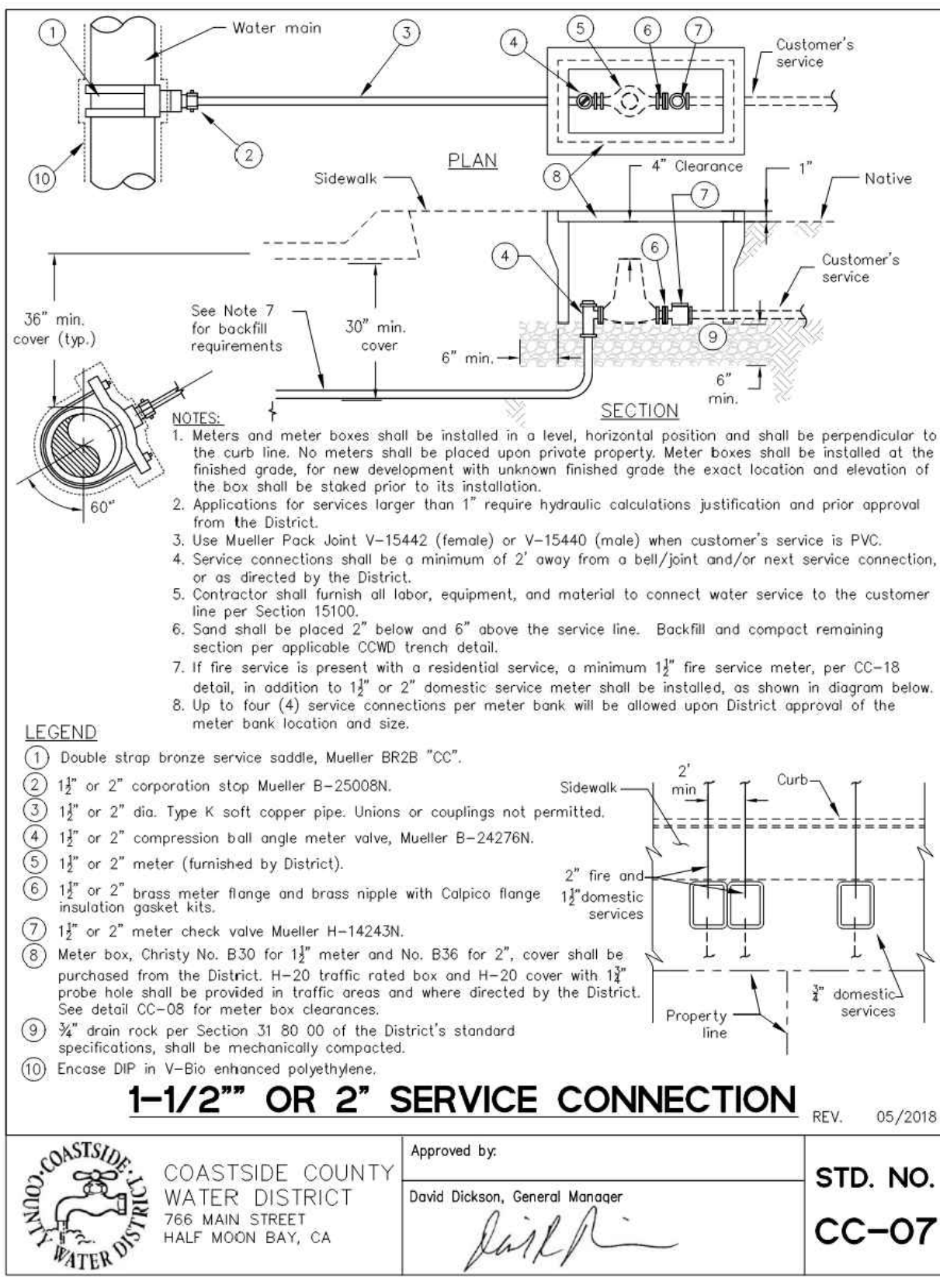
Date	Revisions	No.
09/02/2022	REVISIONS	AS SHOWN
01/09/2023	REVISIONS	D.L.
04/26/2023	PLAN CHECK - COWD	DJP/ANK
05/16/2023	PLAN CHECK REVISIONS	RH
06/23/2023	PLAN CHECK - COWD	



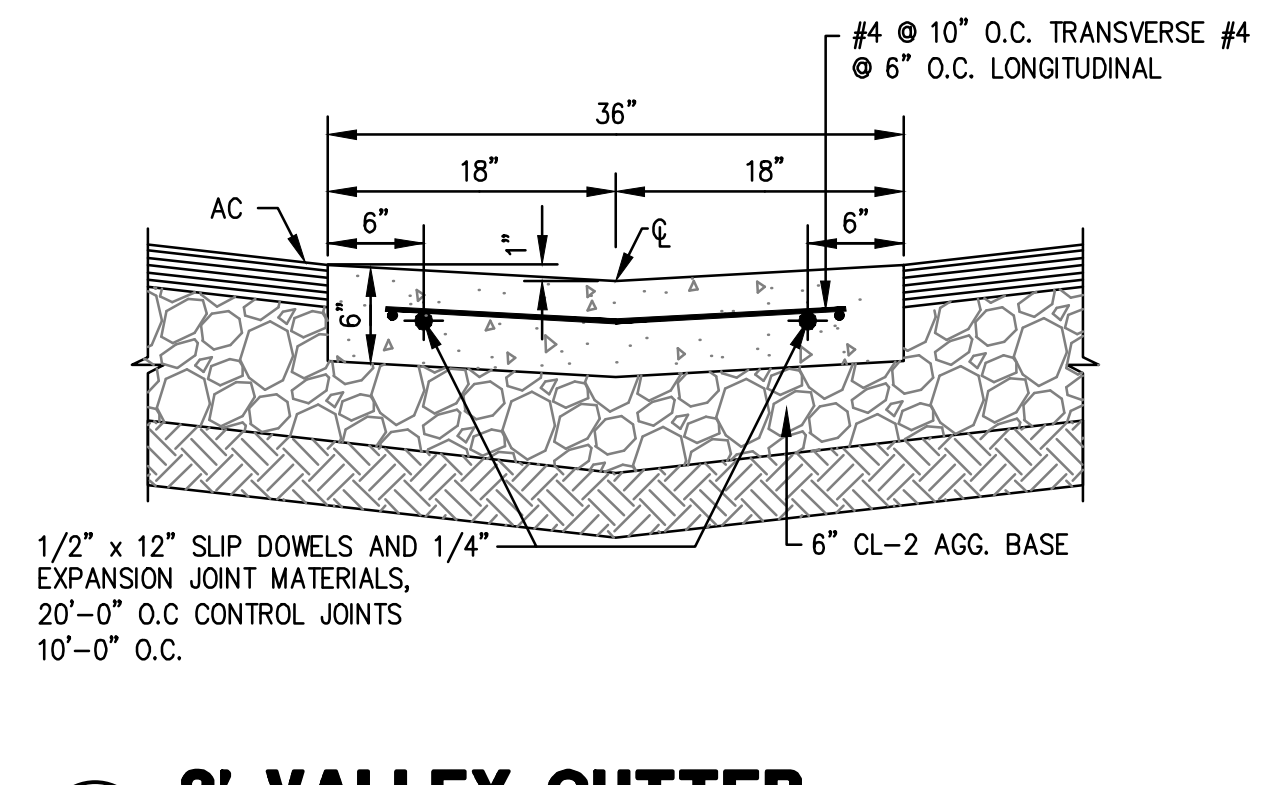
**4 DOUBLE SERVICE** NO SCALE



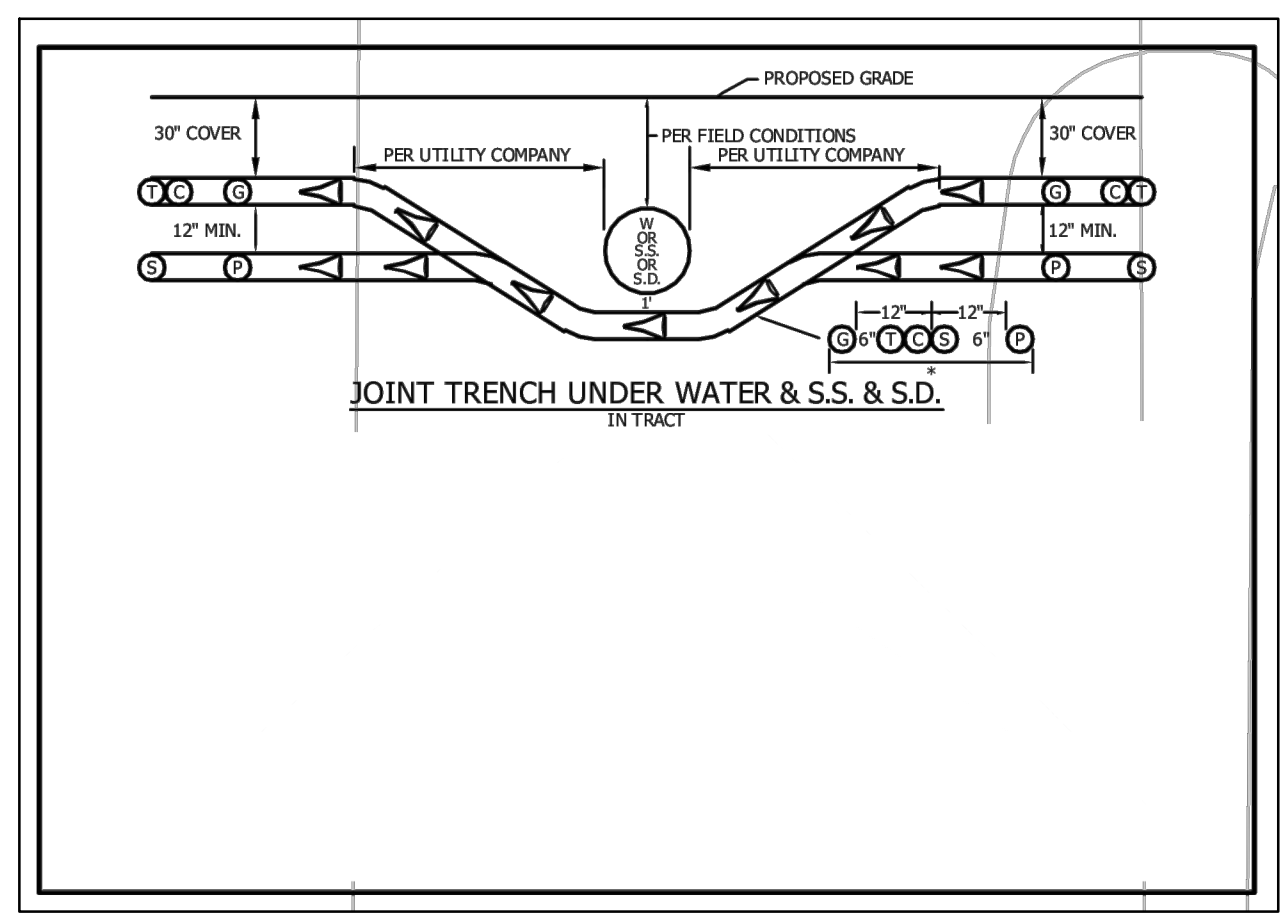
**2 CURB DRAINS** NO SCALE



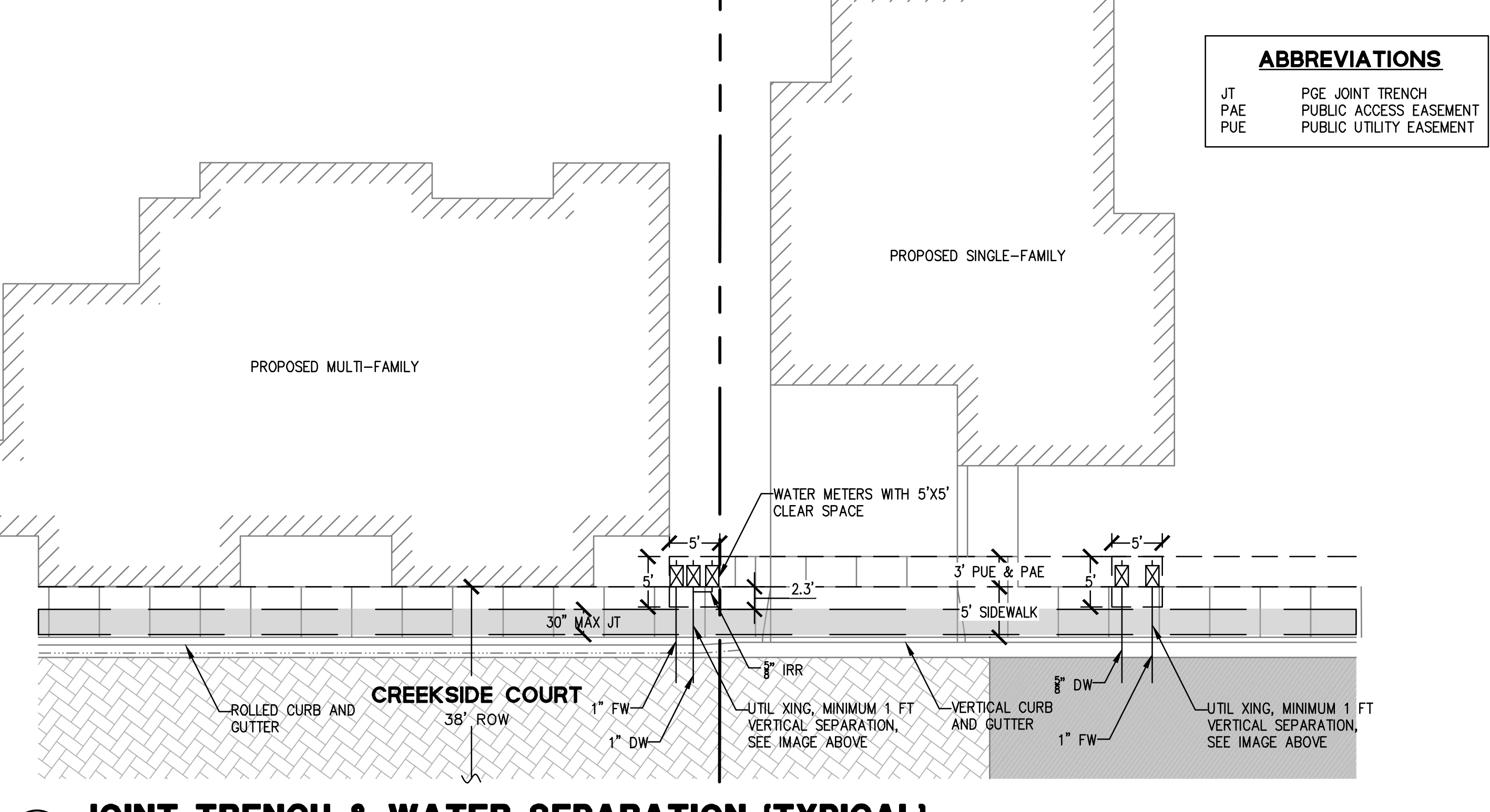
**5 1.5" OR 2" SERVICE CONNECTION** NO SCALE



**3 3' VALLEY GUTTER** NO SCALE



**1 JOINT TRENCH & WATER SEPARATION (TYPICAL)** SCALE: 1"=10'



**1 JOINT TRENCH & WATER SEPARATION (TYPICAL)** SCALE: 1"=10'

DRAWING NAME: \\BKF-r-c\data\2018\180123\_320 Church\_Street\ENG\chsheets.dwg PLOT DATE: 06-23-23



**ELECTROLIER NOTES:**

- ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM WITH THE SPECIFICATIONS OF THE CITY OF HALF MOON BAY.
- ELECTROLIERS ARE TO BE LOCATED NO CLOSER THAN 3' FROM THE EDGE OF DRIVEWAYS OR 5' FROM HYDRANTS.
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO INSTALL UNDERGROUND SERVICE FROM THE ELECTROLIER TO P.G. & E. SERVICE BOX AND TERMINATE CONDUIT AND WIRE IN BOX AS DIRECTED BY P.G. & E.
- CONDUIT AND FITTINGS SHALL BE U.L. APPROVED. CONDUIT BELOW GRADE SHALL BE MINIMUM 1-1/2" SCHEDULE 40 P.V.C. U.O.N. MIN. RADIUS BENDS SHALL BE 18". USE RIGID STEEL METALLIC CONDUIT FOR ABOVE GROUND INSTALLATIONS AND FOUNDATIONS. (FOR CONDUIT DEPTH SEE DETAIL.)
- CABLE TO BE A.W.G. NUMBER 8, (OR LARGER AS NOTED) 7 - STRAND COPPER, TYPE THHN OR APPROVED EQUAL.
- CIRCUITS WITH TWO OR MORE ELECTROLIERS SHALL BE WIRED TO BALANCE THE LOAD. (SEE WIRING DIAGRAM.)
- JUNCTION BOXES SHALL MEET THE REQUIREMENTS FOR STATE NUMBER 3 1/2 PULL BOX WITH COVERS. COVERS TO BE MARKED, "STREET LIGHTING" AND SECURED WITH BRASS HOLD DOWN BOLTS.
- FUSE EACH POLE WITH WATER PROOF IN-LINE BREAK AWAY FUSE HOLDERS AND AT EACH ADJACENT JUNCTION BOX.
- ALL SPLICES SHALL BE MADE IN HANDHOLES OR JUNCTION BOXES ONLY. ALL SPLICES MUST BE PER CAL-TRANS SECTION 86.
- CONTRACTOR TO PLACE POLE NUMBERS ON ALL STREET LIGHT STANDARDS. ALL NUMBERS ARE TO BE IN ACCORDANCE WITH P.G. & E. STANDARDS.

**SYMBOL LIST**

- \* DECORATIVE ELECTROLIER ON 15' POLE (DETAIL THIS PAGE) FIXTURE CAT#PROV2-36L-525-3K7-3-BLS-STANDARD\_MOUNT-UNV POLE CAT#RSA-A-14-40-A-OT-BLS-UL
- 100A METER PED FOR PRIVATE LIGHTS AND IRRIGATION
- 1 1/2" PVC SCHED 40 W/3#8 CU & GRND U.O.N
- #3 1/2 SPLICE BOX
- ▣ #3 1/2 SPLICE BOX W/ GROUND ROD
- #3 1/2 SPLICE BOX PULL THRU
- FIRE HYDRANT
- U.O.N. UNLESS OTHERWISE NOTED

**PROV2**  
ARCHITECTURAL AREA/SITE

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

**PROVIDENCE®**  
Providence Medium

**FEATURES**

- Reliable, uniform, glare free illumination
- Types 1, 2, 3, 4W, 5G, and 5V distributors
- Amber, 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral Surge protection: 10k in parallel, 20k in series
- Upgrade Kits

**CONSTRUCTION**

- All housing components aluminum 360 alloy, sealed with continuous silicone rubber gaskets
- Standard configurations do not require a flat lens, optional lenses are tempered glass
- All internal and external hardware is stainless steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) polyester powdercoat
- Optical bezel finish to match the luminaire housing
- LED/OPTICS
- Optical cartridge system consisting of a die cast heat sink, LED engine, TIR optics, gasket and bezel plate
- Optics are held in place without the use of adhesives
- Molded silicone gasket ensures a weather-proof seal around each individual LED.
- Features individual LED optical control based on high performance TIR optical designs
- House Side Shield is available on Standard and Clear Lens options except any Type 5 distribution. House Side Shield is not available for any distribution using a Diffused Lens
- INSTALLATION
- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury

**ELECTRICAL**

- Luminaires have UL recognized integral surge protection, and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J
- Drivers are UL recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC
- 100%-1% dimming range. Fixture will be wired for low voltage 0-10V dimming control

**CONTROLS (CONTINUED)**

- Egress adapter will require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter will have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, lamp by others
- Photocell adapter includes a 7-Pin internal twist lock receptacle. Photocell by others
- ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations
- This product qualifies as a "designated country construction material" per F42 52.225-11 Buy American-Construction Materials under Trade Agreements effective 5/29/2020
- WARRANTY
- 5 year warranty

**KEY DATA**

LUMEN RANGE	1.81-9,336
WATTAGE RANGE	31.52-71.6
EFFICACY RANGE (LPW)	44.9-118.9
INPUT CURRENT RANGE (mA)	295-615 mA
WEIGHT	29 lbs / 13.15 kg
EPA	1.33

**CONSTRUCTION DETAIL**

**WARRANTY**

5 year warranty

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**RSA-A Series**  
ROUND STRAIGHT ALUMINUM POLE

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

**AAL Poles**

**SPECIFICATIONS**

**APPLICATIONS**

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

**CONSTRUCTION**

- SHAFT: One-piece straight aluminum with round cross section; Extruded shafts of 6061-T6 aluminum in 1/8", 3/16", or 1/4" thickness. Base plate of 356 cast aluminum.
- BOLT COVERS: Four (4) individual bolt covers provided, painted to match pole and base finish.
- POLE CAP: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- HAND HOLE: Rectangular 3x5 aluminum hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with two washers and two nuts per bolt for leveling/warnings

**FINISH**

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint finish coat available in multiple standard colors; Custom colors available; RAL number preferable

**ORDERING GUIDE**

Example: PR4-4R12-12S-PCR-GF1-SBC-PTF-BLT

CATALOG # \_\_\_\_\_

POLE \_\_\_\_\_

Series	Pole	Shaft	Thickness	Mounting	Finish	VMC	
RSA-A	Round Straight Aluminum Pole	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	TA Tenon (2.37" OD) TB Tenon (2.87" OD) OT Open Top (includes pole cap)	BLS Black Gloss Smooth BLT Black Matte Textured DBS Dark Bronze Gloss Smooth DBT Dark Bronze Matte Textured GTT Graphite Matte Textured LGS Light Grey Gloss Smooth LGT Light Grey Matte Textured PSS Platinum Silver Gloss Smooth VGT Verde Green Matte Textured WHS White Gloss Smooth WHT White Matte Textured Color Option CC * Custom Color	GF1 20 Amp GFCI Receptacle and Cover EHH Extra Handhole COS 3" Coupling CO2 2" Coupling CO3 2" Coupling VM2 2nd mode vibration damper LAB Less Anchor Bolts UL UL Certified

**Accessories**

- VM2SIX 2nd mode vibration damper, ordered separately

**MOUNTING ORIENTATION**

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NOTE:  
PLEASE VERIFY THE SERVICE POINTS ON THIS PLAN MATCH YOUR CURRENT DESIGN. IF THERE ARE DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE @ 925-820-8502

**WIRING DIAGRAM**

**CITY STANDARD CONCRETE BASE DETAIL**  
NOT TO SCALE

NOTES:  
1. REFER TO CITY SPECIFICATIONS FOR CONCRETE TYPES & RELATED SPECS.  
2. REFER TO CITY SPECIFICATIONS FOR BONDING/GROUNDING REQUIREMENTS.  
3. REFER TO CITY SPECIFICATIONS FOR ADDITIONAL REINFORCEMENT SPECS.  
4. REFER TO CITY SPECIFICATIONS FOR SOIL-TUBE REQUIREMENTS.

**FRONT VIEW RIGHT SIDE**

**SERVICE EQUIPMENT WIRING DIAGRAM**

NOTE: LOAD CURRENT FOR ALL BREAKERS NOT TO EXCEED 80% OF BREAKER AMPERAGE

**ENCLOSURE CONSTRUCTION NOTES**

- EXTERIOR, 1/8" ALUMINUM, AND INTERIOR 14 GA COLD ROLLED STEEL ELECTRICALLY WELDED AND REINFORCED WHERE REQUIRED.
- CONSTRUCTION WILL BE NEMA 3R, RAIN/TIGHT.
- ALL NUTS, BOLTS AND SCREWS WILL BE STAINLESS STEEL.
- NUTS, BOLTS & SCREWS WILL NOT BE VISIBLE FROM OUTSIDE OF ENCLOSURE.
- NAMEPLATES WILL BE PROVIDED AS REQUIRED.
- CONTROL WIRING WILL BE MARKED AT BOTH ENDS BY PERMANENT WIRE MARKERS.
- A PLASTIC COVERED WIRING DIAGRAM WILL BE ATTACHED TO THE INSIDE OF THE FRONT DOOR.
- ENCLOSURE WILL BE FACTORY WIRED AND CONFORM TO REQUIRED NEMA AND UL 508A STANDARDS.
- ANODIZE AFTER FABRICATION

**TECO**  
INDUSTRIAL CONTROL PANEL

VOLUME	WIRE	WIRE	WIRE	WIRE
150/240	1	3	100	100

120V NOT TO EXCEED AMPERAGE OF BREAKER

REV	DATE	BY	DESCRIPTION

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**MILLENNIUM**  
DESIGN & CONSULTING, inc.  
UTILITY DESIGN & CONSULTING - APPLICANT DESIGN - STREET LIGHTING

P.O. BOX 737  
ALAMO, CA 94507  
PHONE: 925-820-8502 - FAX: 925-820-8407

18-809	18-809	TW	CK	NONE	11-10-22
MDCI JOB#:	MDCI PH:	DESIGNED BY:	CHECKED BY:	SCALE:	LAST MODIFIED:

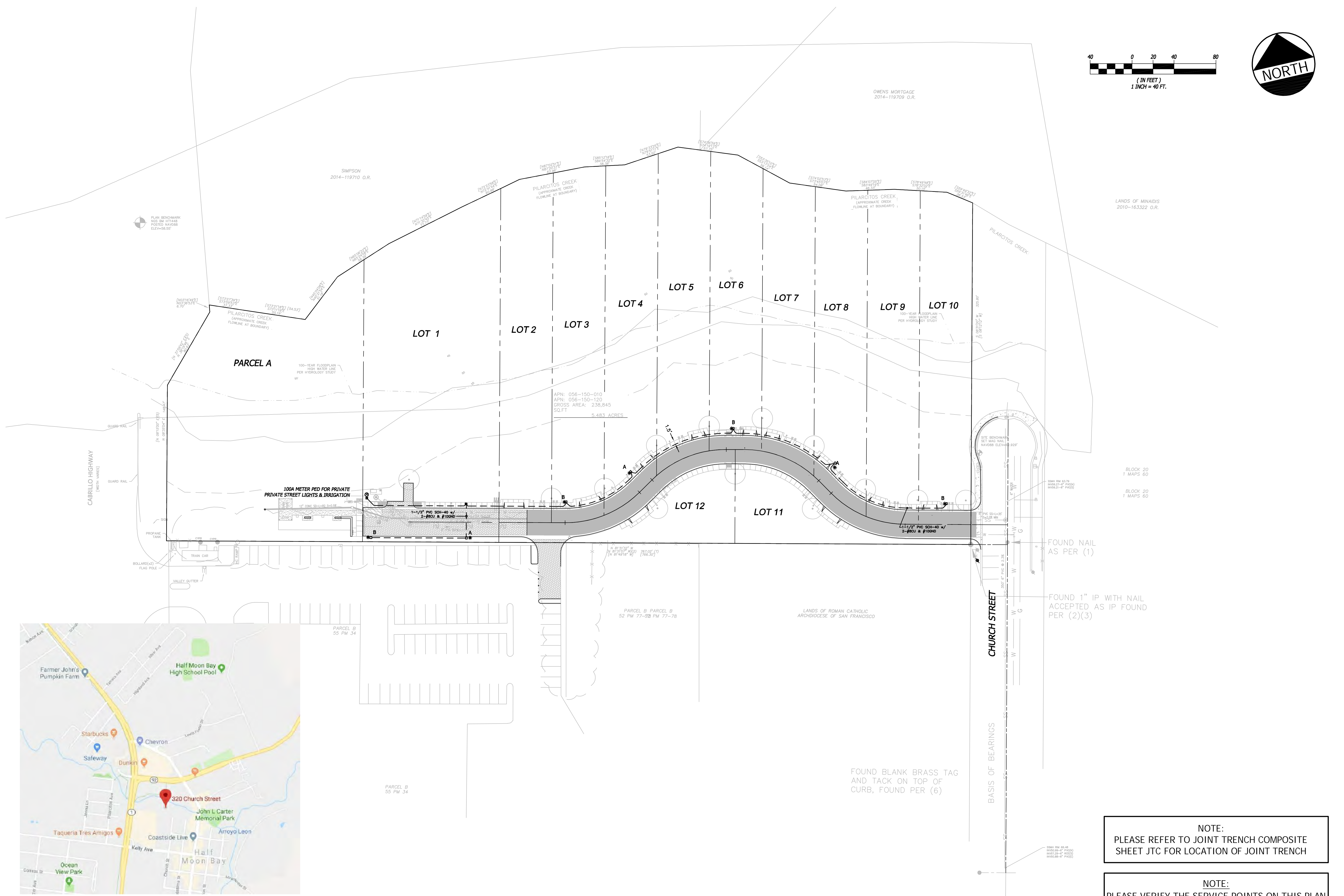
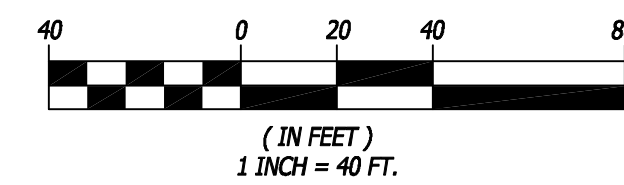
**STREET LIGHTING PLAN**  
320 CHURCH STREET  
HALF MOON BAY  
CALIFORNIA

SHEET NO. **SL1**

SHEET 1 OF 2

REVISION NUMBER: 0

PLOT DATE: 11-10-22



VICINITY MAP - NOT TO SCALE

**NOTE:**  
PLEASE REFER TO JOINT TRENCH COMPOSITE SHEET JTC FOR LOCATION OF JOINT TRENCH

**NOTE:**  
PLEASE VERIFY THE SERVICE POINTS ON THIS PLAN MATCH YOUR CURRENT DESIGN. IF THERE ARE DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE @ 925-820-8502

**MILLENNIUM**  
DESIGN & CONSULTING, INC.  
UTILITY DESIGN & CONSULTING - APPLICANT DESIGN - STREET LIGHTING  
P.O. BOX 737  
ALAMO, CA 94507  
PHONE: 925-820-8502 - FAX: 925-820-8407

PROJECT NO:	18-809
DATE:	TW
DESIGNED BY:	CK
CHECKED BY:	TW
SCALE:	1"=40'
LAST MODIFIED:	1-7-23

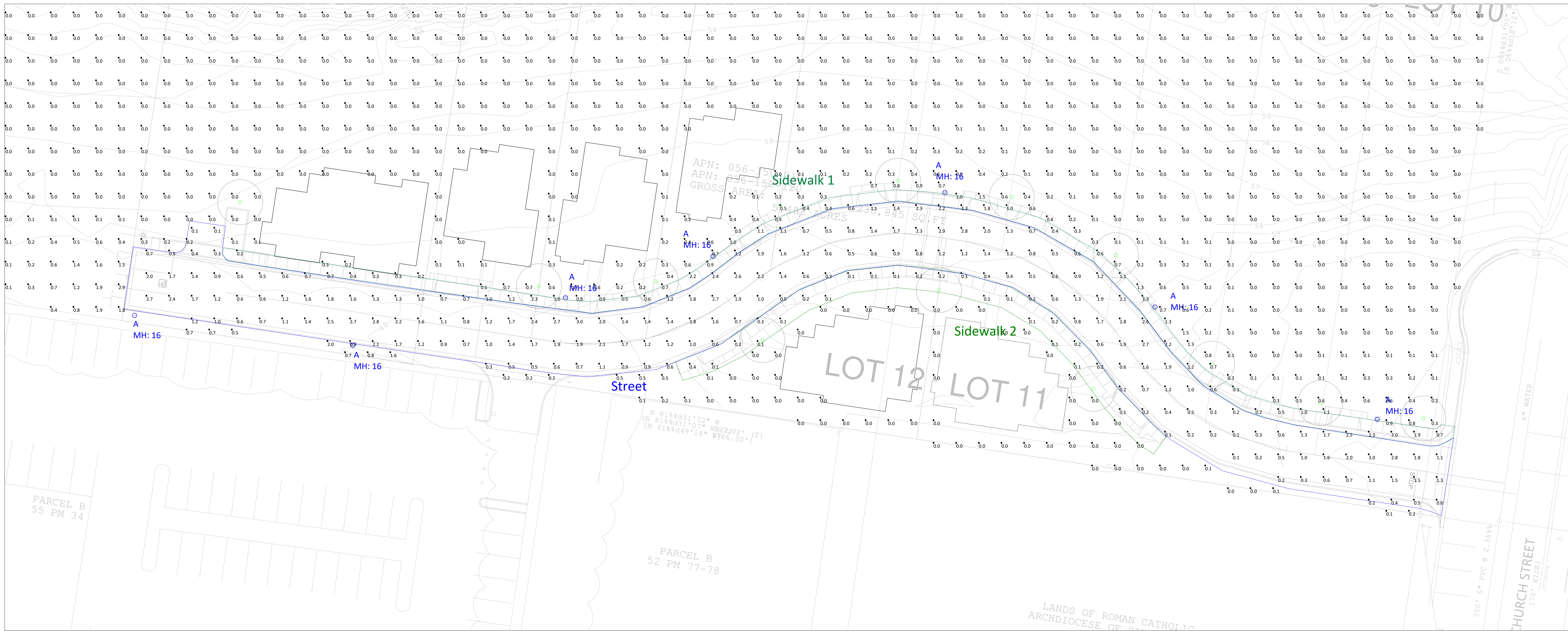
REV	DATE	DESCRIPTION

BKF  
**STREET LIGHTING PLAN**  
320 CHURCH STREET  
HALF MOON BAY  
CALIFORNIA

SHEET NO.	SL2
SHEET 2 OF 2	
REVISION NUMBER:	0
PLOT DATE:	1-7-23







Plan View  
Scale: 1 inch= 20 Ft.

Luminaire Schedule							
Symbol	Qty	Fixture Type	Manufacturer and Part Number	Mounting Height (MH)	LLF	Lumens	Watts
	7	A	AAL - PROV2-36L-525-3K7-3	15'-0" AFG	0.903	5686	60.2

- NOTES:
- The luminaire fixture types and part numbers included on the schedule above are for photometric purposes only and may need to be revised for real world conditions. Please refer to the manufacturer specification sheets and make sure to confirm voltages, finishes, mounting options, dimming and control options, accessories, etc. before specifying and/or ordering the fixtures.
  - LLF = Light Loss Factor = Lamp Lumen Depreciation (LLD) x Lamp Dirt Depreciation (LDD) = 0.95 x 0.95 = 0.90

Illuminance Calculation Summary							
Calculation Grid Description	Grid Location	Units	Avg	Max	Min	Avg/Min	Max/Min
Complete Site Away From Street	0'-0" AFG	Fc	0.03	2.9	0.0	N.A.	N.A.
Sidewalk 1	0'-0" AFG	Fc	1.20	2.5	0.2	6.00	12.50
Sidewalk 2	0'-0" AFG	Fc	0.15	0.4	0.1	1.50	4.00
Street		Fc	1.19	3.0	0.1	11.90	30.00

- NOTES:
- The "Mounting Height (MH)" column in the above schedule and the "MH" tag beneath the fixture type designations shown in plan view indicate the total mounting height of the fixture head AFG (above finished grade), including the pole height and the height of any base that the pole may be mounted to.



www.ltgsys.com  
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2322 6th Street  
Berkeley, CA 94710  
916-772-5800  
1310 Blue Oaks Blvd  
Suite 400  
Roseville, CA, 95678

# 320 Church Street

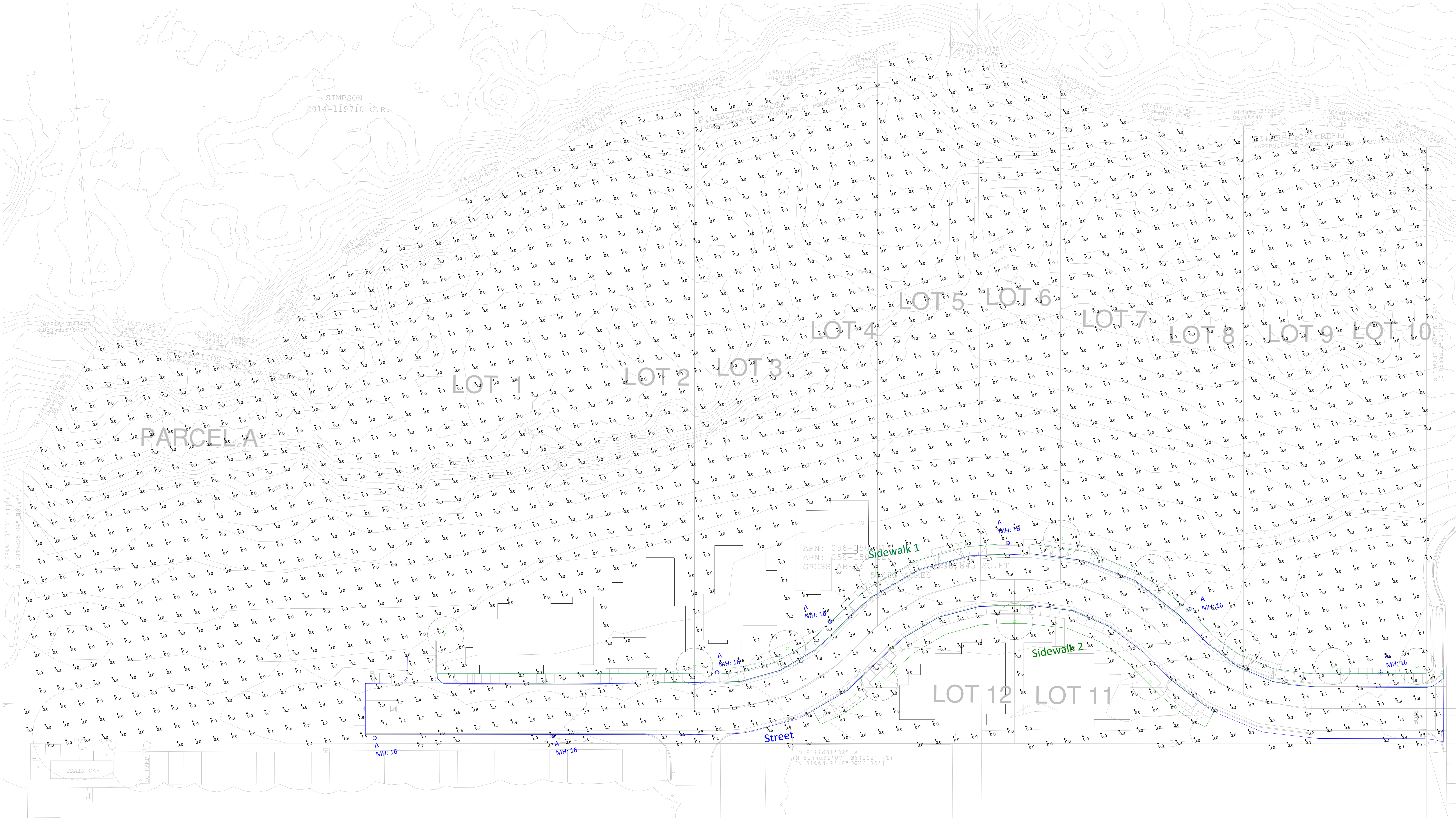
Filename: 320 Church St\_12-23-22 - REV08.AGI

Date: 12/23/2022

**DISCLAIMER:**  
This lighting calculation report attempts to approximate the maintained light levels and is based on the information provided to Lighting Systems. Please verify the information provided (space dimensions, fixture mounting heights, surface reflectances, etc.) to ensure the accuracy of the report. Many factors that can affect field measured lighting levels cannot be anticipated when using the calculation software and as such Lighting Systems cannot guarantee lighting levels.

Sales Contact:  
Lighting Systems  
510-982-3900

Calcs by: **Brian Franco**  
Phone: (510)-982-3938  
brianf@ltgsys.com  
Page 1 of 2



Complete Site



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# 320 Church Street

Filename: 320 Church St\_12-23-22 - REV08.AGI

Date: 12/23/2022

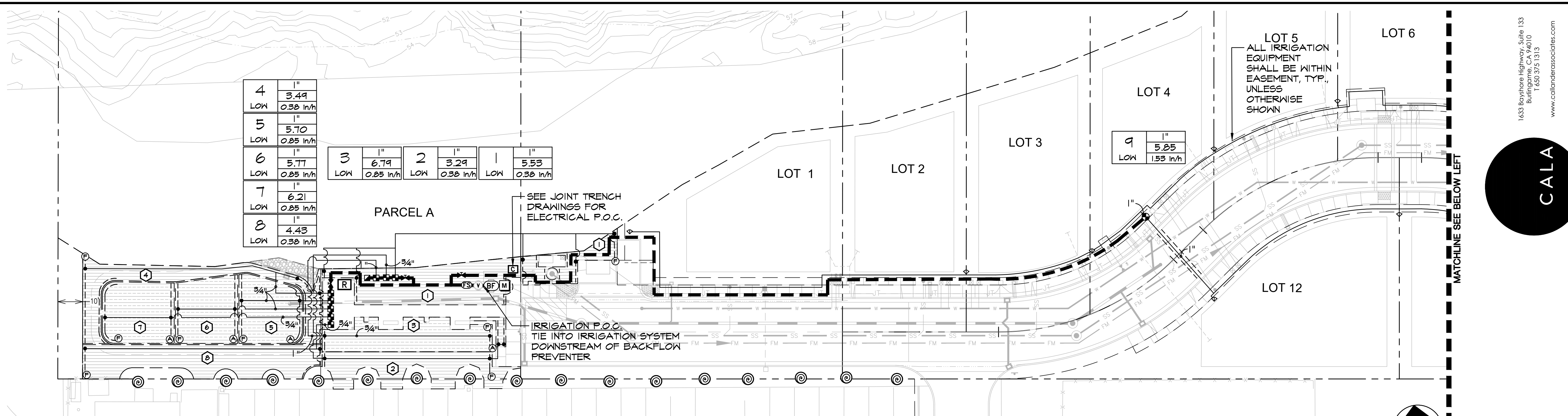
**DISCLAIMER:**

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Sales Contact:  
Lighting Systems  
510-982-3900

Calcs by: **Brian Franco**  
Phone: (510)-982-3938  
brianf@ltgsys.com

DRAWING NAME: \\ASECALLS\w\Projects\2019 Projects\320ChurchSt\Subdivision\3\_ConstructionDocuments\19008\_IR.dwg  
 PLOT DATE: 10-21-22 PLOTTED BY: gden

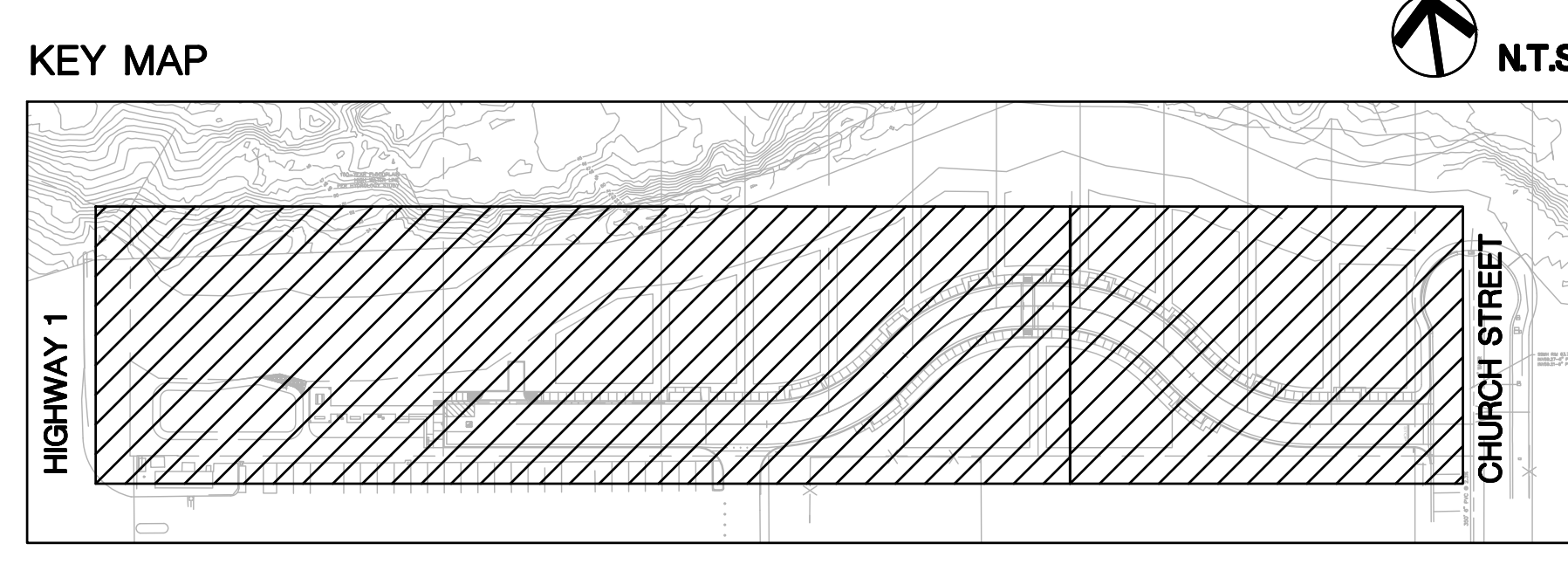
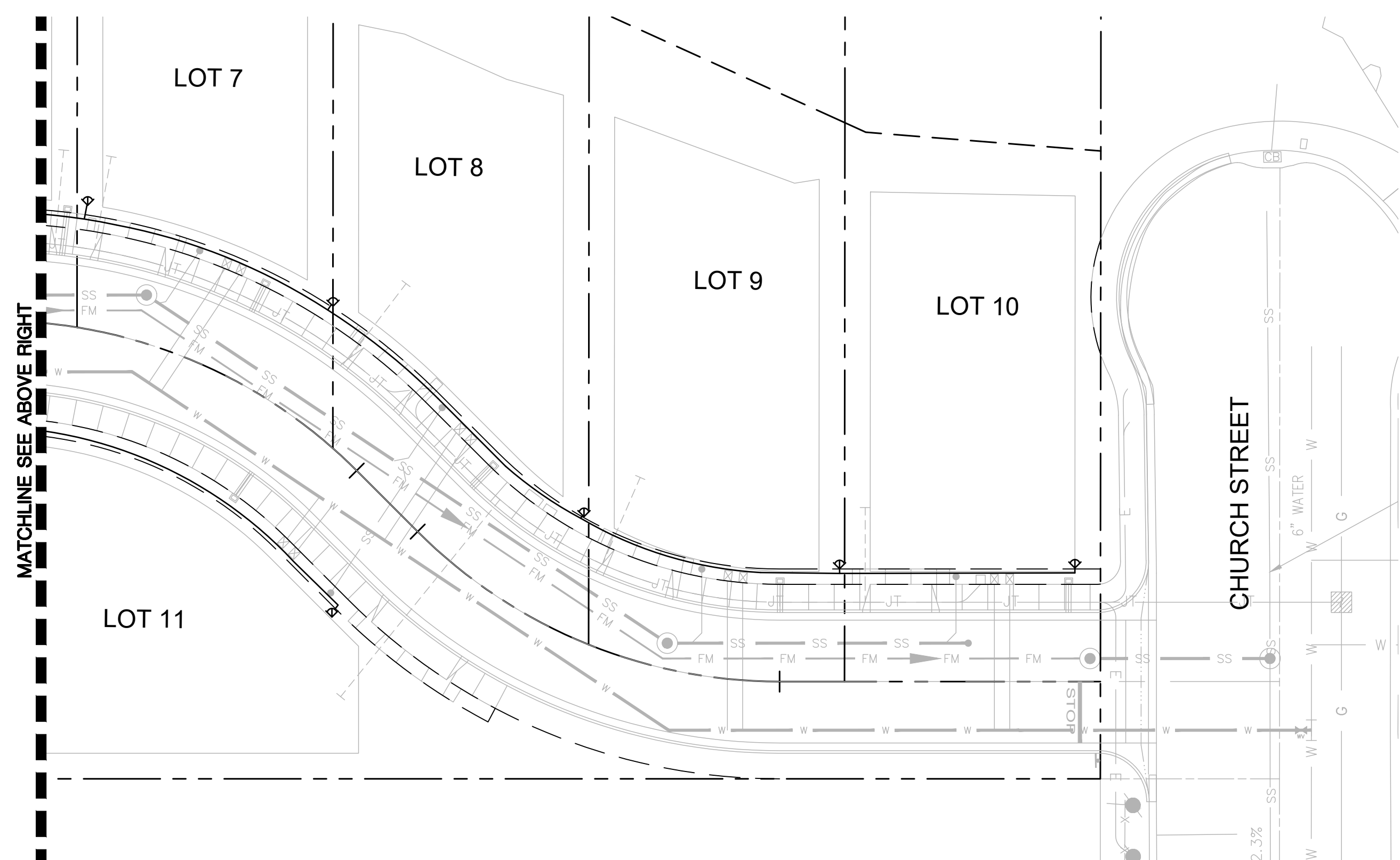
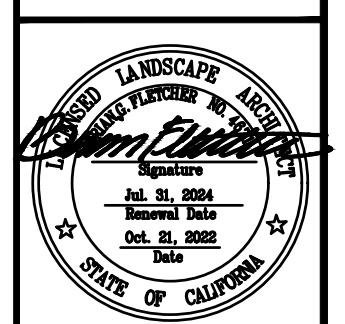


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IRRIGATION PLAN  
 CREEKSIDE COURT SUBDIVISION  
 320 CHURCH STREET  
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 HALF MOON BAY

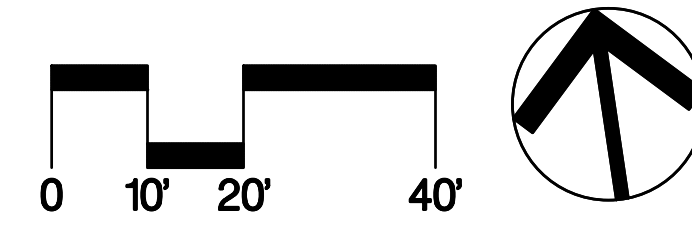
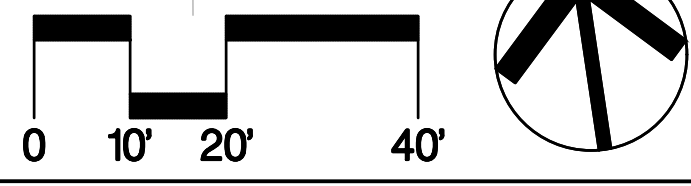


**IRRIGATION NOTES**

- SPECIFICATIONS:** SEE IRRIGATION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- VERIFICATION:** SYSTEM DESIGN IS BASED ON 60 P.S.I. AND 6.79 G.P.M. AVAILABLE AT DISCHARGE OUTLET OF METER OR OTHER POINT OF CONNECTION. VERIFY SAME AND NOTIFY OWNER'S REPRESENTATIVE IF LOWER FIGURES ARE RECORDED DURING VERIFICATION. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING ANY IRRIGATION WORK.
- UTILITIES:** VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- SCHEMATIC:** SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE. ALL VALVES SHALL BE LOCATED IN GROUND COVER OR SHRUB AREAS WHENEVER POSSIBLE. AND SHALL NOT BE LOCATED WITHIN RIPARIAN SETBACK.
- CODES:** IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY OWNER'S REPRESENTATIVE BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
- SLEEVING:** ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVING INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
- QUICK COUPLING VALVES:** INSTALL ON TRIPLE SWING JOINT. LOCATE 12 INCHES AWAY FROM EDGE OF WALKS, WALLS, CURBS, AND HEADERBOARDS WITHIN PLANTING AREAS. PROVIDE OWNER WITH ONE OPERATING KEY, TWO SETS OF LOCKING COVER KEYS, AND ONE SWIVEL HOSE ELL.
- CONTROLLER:** INSTALL CONTROLLER TO ENCLOSURE PER MANUFACTURER'S RECOMMENDATION. ALL ABOVE-GRADE CONDUIT EITHER 24V. OR 110V. SHALL BE RIGID STEEL AND SECURELY FASTENED TO STRUCTURE AND TO CONTROLLER.
- MAINLINE BREAK:** SHOULD THE EXISTING MAINLINE BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR SHALL HAND WATER ALL TREES, SHRUBS, TURF, AND GROUND COVER THAT THE EXISTING IRRIGATION SYSTEM WATERS. CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE.

**IRRIGATION LEGEND**

	IN-LINE DRIP IRRIGATION, TORO, DL2000 SERIES PC DRIPLINE, 0.5 GPH EMITTER FLOW AND 18-INCH EMITTER SPACING. SPACE EMITTER LINE ROWS AT 18-INCHES ON CENTER. 30-PSI OPERATING PRESSURE. INSTALL ALL LINES AT GRADE WITH STAPLES EVERY 3'-0" O.C. PER MANUFACTURER'S RECOMMENDATIONS. USE TORO TRI-LOC FITTINGS FOR DRIPLINE. INSTALL OPERATION INDICATOR AT FURTHEST POINT FROM VALVE, TORO, T-DL-MP9, 1 PER SYSTEM IN PLANTER AREA BEING IRRIGATED. REVIEW LAYOUT WITH MANUFACTURER'S REPRESENTATIVE PRIOR TO CONSTRUCTION, CHRIS STEELE, (559) 779-8676
	SUB-SURFACE DRIP IRRIGATION, TORO, DL2000 SERIES PC DRIPLINE, 0.5 GPH EMITTER FLOW AND 12-INCH EMITTER SPACING. SPACE EMITTER LINE ROWS AT 12-INCHES ON CENTER. 30-PSI OPERATING PRESSURE. BURY ALL LINES 4" BELOW FINISH GRADE PER MANUFACTURER'S RECOMMENDATIONS. USE TORO TRI-LOC FITTINGS FOR DRIPLINE. INSTALL OPERATION INDICATOR AT FURTHEST POINT FROM VALVE, TORO, T-DL-MP9, 1 PER SYSTEM IN PLANTER AREA BEING IRRIGATED. REVIEW LAYOUT WITH MANUFACTURER'S REPRESENTATIVE PRIOR TO CONSTRUCTION, CHRIS STEELE, (559) 779-8676
	TREE BUBBLER, TORO FB-25-FC, EACH SYMBOL REPRESENTS 2 BUBBLERS PER TREE
	REMOTE CONTROL VALVE, IRRITROL, 700 SERIES, SIZE PER PLAN
	DRIP REMOTE CONTROL ZONE KIT, IRRITROL, 700DK-I-MF, 1" SIZE
	CONTROLLER, IRRITROL, RAINMASTER EAGLE, RME-18-SPED-T
	WATER METER, SEE CIVIL DRAWINGS
	BACKFLOW PREVENTER, SEE CIVIL DRAWINGS
	MASTER VALVE, SUPERIOR, 3100 SERIES, NORMALLY OPEN, LINE SIZE
	FLOW SENSOR, IRRITROL, FS-B-100
	RAIN SENSOR, IRRITROL RS1000, INSTALL ON SHADE STRUCTURE PER MANUFACTURER'S RECOMMENDATION
	DRIP HEADER, SCH 40 PVC, 3/4" SIZE, UNLESS OTHERWISE NOTED
	LATERAL / HEADER CONNECTION
	LATERAL LINE, CLASS 200 PVC, SIZE PER PLAN
	MAINLINE, CLASS 315 PVC, 2-1/2" SIZE
	SLEEVE, SCH 40 PVC, SIZE AS REQUIRED
	QUICK COUPLING VALVE, RAINBIRD, 44-LRC
	GATE VALVE, NIBCO, CLASS 125, T-113, LINE SIZE, INSTALL IN VALVE BOX
	FLUSH VALVE, TORO, T-FGH-H, INSTALL AT LOW END OF DRIP HEADER LINE
	AIR RELEASE VALVE, TORO, T-YD-500-34, INSTALL AT HIGH END OF DRIP HEADER LINE
	VALVE NUMBER FOR DRIP AREA



Date	06/17/2020	No.	
Scale	AS SHOWN	Revisions	
Design	AD	1	SSWD PLAN CHECK COMMENTS #2
Drawn	DC	2	PLAN CHECK REVISION #3
Approved	ZK/BF	3	PLAN CHECK REVISION #4
Job No	19008		

Drawing Number: **L1.0**  
 OF

**PROJECT INFORMATION**

- A. DATE: SEE TITLE BLOCK
- B. PROJECT APPLICANT: CALLANDER ASSOCIATES FOR CREEKSIDE COURT, LLC
- C. PROJECT ADDRESS: 320 CHURCH ST, HALF MOON BAY, CA 94019
- D. TOTAL LANDSCAPE AREA: SEE WATER EFFICIENT LANDSCAPE WORKSHEET
- E. PROJECT TYPE: NEW
- F. WATER SUPPLY TYPE: POTABLE
- G. LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST:
  - 1.  PROJECT INFORMATION
  - 2.  WATER EFFICIENT LANDSCAPE WORKSHEET
  - 3.  \*SOIL MANAGEMENT REPORT
  - 4.  LANDSCAPE DESIGN PLAN (SEE SHEET L2.0-L2.1)
  - 5.  IRRIGATION DESIGN PLAN (SEE SHEET LI.0)
  - 6.  GRADING DESIGN (SEE CIVIL DRAWING)
  - 7.  \*CERTIFICATE OF COMPLETION
  - 8.  \*CERTIFICATE OF INSTALLATION
  - 9.  IRRIGATION SCHEDULE
  - 10.  \*MAINTENANCE SCHEDULE
  - 11.  \*LANDSCAPE IRRIGATION AUDIT

\*CONTRACTOR SHALL FURNISH UPON PROJECT COMPLETION AND IS RESPONSIBLE TO PAY FOR ALL ASSOCIATED FEES.

\*CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF IRRIGATION AUDIT BY THE LOCAL AGENCY LANDSCAPE IRRIGATION AUDITOR OR A THIRD PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE.

H. PROJECT CONTACTS:

OWNER:  
GONZALEZ CONSTRUCTION  
GABRIEL GONZALEZ  
20 S.LINDA AVENUE, STE. 2B  
SOUTH SAN FRANCISCO, CA 94080

LANDSCAPE ARCHITECT:  
CALLANDER ASSOCIATES  
BRIAN FLETCHER  
1633 BAYSHORE HIGHWAY, SUITE 133  
BURLINGAME, CA 94010  
PHONE: (650) 375-1313  
FAX: (650) 344-3290

**IRRIGATION SCHEDULE**

Valve No.	Description	GPM Flow	Precip Rate	Irrigation Method	Irrigation Efficiency	Plant Water Use	Plant Factor	Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
1	Shurbs and Groundcover	5.53	0.38	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	1.5	1.7	2.4	3.0	3.9	4.3	4.3	4.2	3.5	2.8	1.3	1.0	33.7
								Cycles per Day	10	11	16	20	25	28	28	27	23	18	8	7	
								Cycles per Month	1	1	1	1	2	2	2	2	1	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	10	22	32	60	200	224	224	216	138	54	8	7	
2	Shurbs and Groundcover	3.29	0.38	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	10	11	16	20	25	28	28	27	23	18	8	7	3,932
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	10	22	32	60	200	224	224	216	138	54	8	7	
3	Turf	6.79	0.85	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	5	5	7	9	12	13	13	13	11	8	4	3	3,809
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	5	10	14	27	96	104	104	104	66	24	4	3	
4	Shurbs and Groundcover	3.49	0.38	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	10	11	16	20	25	28	28	27	23	18	8	7	3,198
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	10	22	32	60	200	224	224	216	138	54	8	7	
5	Shurbs and Groundcover	5.7	0.85	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	5	5	7	9	12	13	13	13	11	8	4	3	3,237
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	5	10	14	27	96	104	104	104	66	24	4	3	
6	Shurbs and Groundcover	5.77	0.85	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	5	5	7	9	12	13	13	13	11	8	4	3	3,484
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	5	10	14	27	96	104	104	104	66	24	4	3	
7	Shurbs and Groundcover	6.21	0.85	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	10	11	16	20	25	28	28	27	23	18	8	7	5,294
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	10	22	32	60	200	224	224	216	138	54	8	7	
8	Shurbs and Groundcover	4.43	0.38	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	2	3	4	5	6	7	7	7	6	5	2	2	1,767
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	2	6	8	15	48	56	56	56	36	15	2	2	
9	Trees	5.85	1.53	Drip	0.81	Low	0.2	Run Time per Cycle (Minutes)	12	35	47	88	281	328	328	328	211	88	12	12	35,499
								Cycles per Day	1	1	1	1	2	2	2	2	1	1	1	1	
								Cycles per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Days per Month	1	2	2	3	4	4	4	3	3	1	1	1	
								Total Gallons	12	35	47	88	281	328	328	328	211	88	12	12	

NOTES:

- WATERING WINDOW:** THIS IRRIGATION SCHEDULE IS BASED ON AN 8 HOUR WATERING WINDOW WITH 5 DAYS OF OPERATION PER WEEK. IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00 PM AND 10:00 AM.
- VALVE OPERATION:** THIS SCHEDULE IS NOT A "STACKING" SCHEDULE AND DOES NOT OUTLINE WHICH VALVES SHOULD RUN AT THE SAME TIME. ALL PROGRAMMING AND STACKING SHALL BE WITHIN THE LIMITS OF THE AVAILABLE WATER PRESSURE.
- SCHEDULE ADJUSTMENTS:** DUE TO VARIABLE AND UNFORESEEN SITE CONDITIONS, THE IRRIGATION SYSTEM RUN TIMES MAY NEED TO BE ADJUSTED TO ENSURE THAT PROPER MOISTURE IS MAINTAINED IN THE LANDSCAPE.
- PLANT ESTABLISHMENT PERIOD:** CONTRACTOR SHALL PROVIDE THE IRRIGATION SCHEDULE DURING THE PLANT ESTABLISHMENT PERIOD. INCREASE THE OPERATION RUN TIME BY AT LEAST 20% AND DAYS OF OPERATION BY AT LEAST ONE DAY PER WEEK.

**LANDSCAPE DOCUMENTATION NOTES**

- MIELO CODES AND REFERENCES:** A COPY OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MIELO) DOCUMENT CAN BE FOUND AT WATER.CA.GOV. REFER TO MIELO SECTION 492.9 FOR CERTIFICATE OF COMPLETION REQUIREMENTS AND APPENDIX C FOR SAMPLE OF CERTIFICATE OF COMPLETION FORM.
- IRRIGATION PLAN CONTROLLER COPY:** THE CONTRACTOR SHALL PLACE A LAMINATED 11X17 COPY OF THE IRRIGATION PLAN SHOWING THE HYDROZONES WITHIN THE IRRIGATION CONTROLLER(S) CABINET FOR FUTURE MANAGEMENT USE.

**WATER EFFICIENT LANDSCAPE WORKSHEET**

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 33.7

Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF) <sup>b</sup>	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>							
Low Water Use Plantings	0.2	Drip	0.81	0.25	6,964	1,720	35,927
Low Water Use Turf	0.2	Drip	0.81	0.25	772	191	3,983
					Totals	7,736 (A)	1,910 (B)
<b>Special Landscape Areas</b>							
					1		
					1		
					1		
					Totals	0 (C)	0 (D)
						<b>ETWU Total</b>	39,910
						<b>Maximum Applied Water Allowance (MAWA)<sup>e</sup></b>	72,736

<sup>a</sup>Hydrozone #/Planting Description  
Eg 1) front lawn  
2) low water use plantings  
3) medium water use planting

<sup>b</sup>Irrigation Method  
overhead spray  
or drip

<sup>c</sup>Irrigation Efficiency  
0.75 for spray  
head  
0.81 for drip

<sup>d</sup>ETWU (Annual Gallons Required) =  
Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

<sup>e</sup>MAWA (Annual Gallons Allowed) =  
(Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet (including SLA). SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

<sup>f</sup>Plant Factor  
(0.0 - 0.1) very low water use  
(0.2 - 0.3) low water use  
(0.4 - 0.6) medium water use  
(0.7 - 1.0) high water use

**ETAF Calculations**

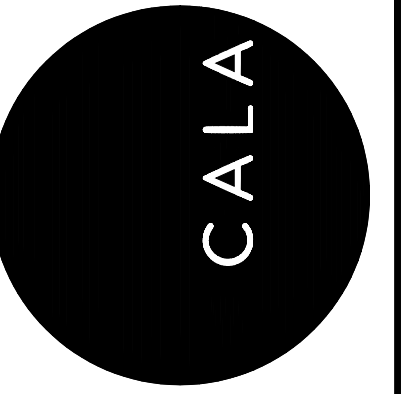
Regular Landscape Areas		
Total ETAF x Area	1,910	(B)
Total Area	7,736	(A)
<b>Average ETAF</b>	<b>0.25</b>	<b>B ÷ A</b>

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

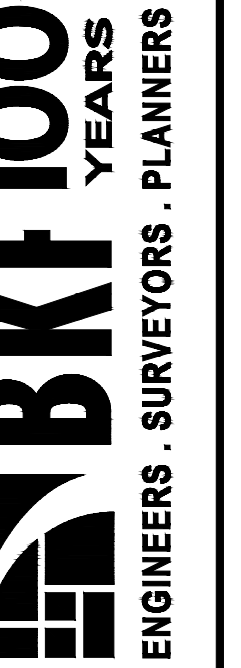
All Landscape Areas		
Total ETAF x Area	1,910	(B + D)
Total Area	7,736	(A + C)
<b>Sitewide ETAF</b>	<b>0.25</b>	<b>(B + D) ÷ (A + C)</b>

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE" AND SUBMIT A COMPLETE "LANDSCAPE DOCUMENTATION PACKAGE" "

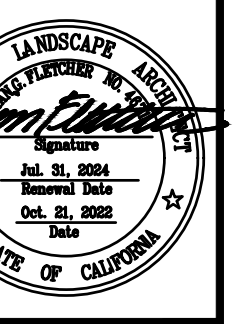
*Brian Fletcher*  
SIGNATURE BRIAN FLETCHER



1633 Bayshore Highway, Suite 133  
Burlingame, CA 94010  
T 650 375 1313  
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IRRIATION DOCUMENTATION  
CREEKSIDE COURT SUBDIVISION  
320 CHURCH STREET  
SAN MATEO COUNTY  
CALIFORNIA



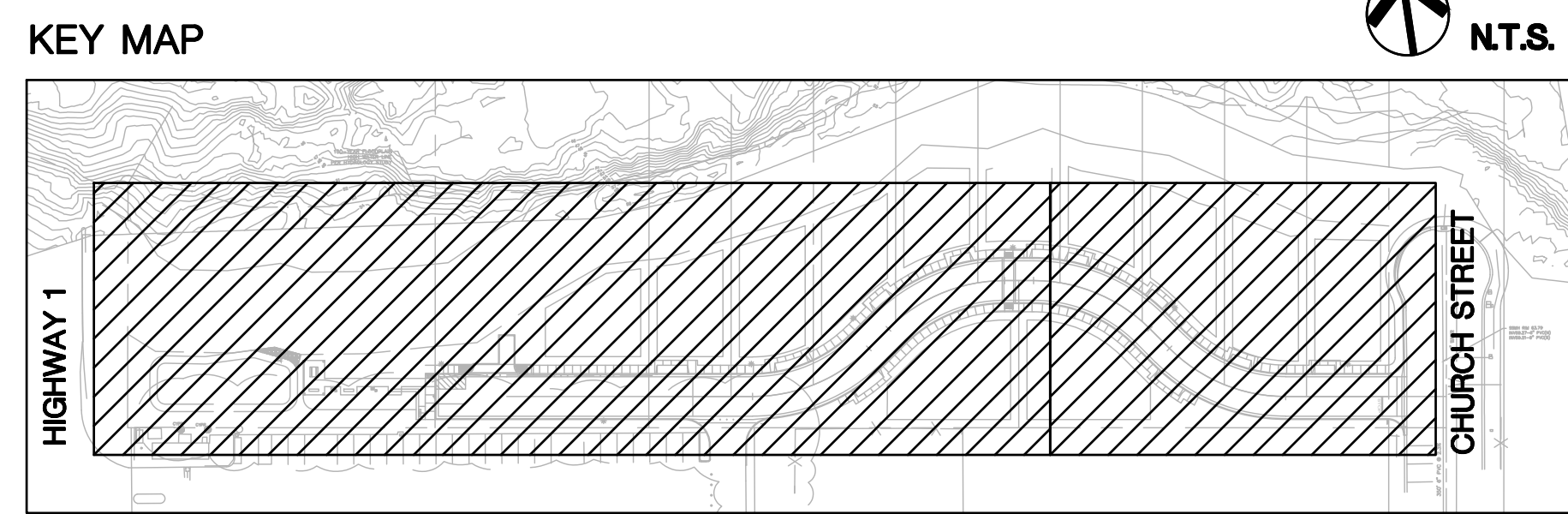
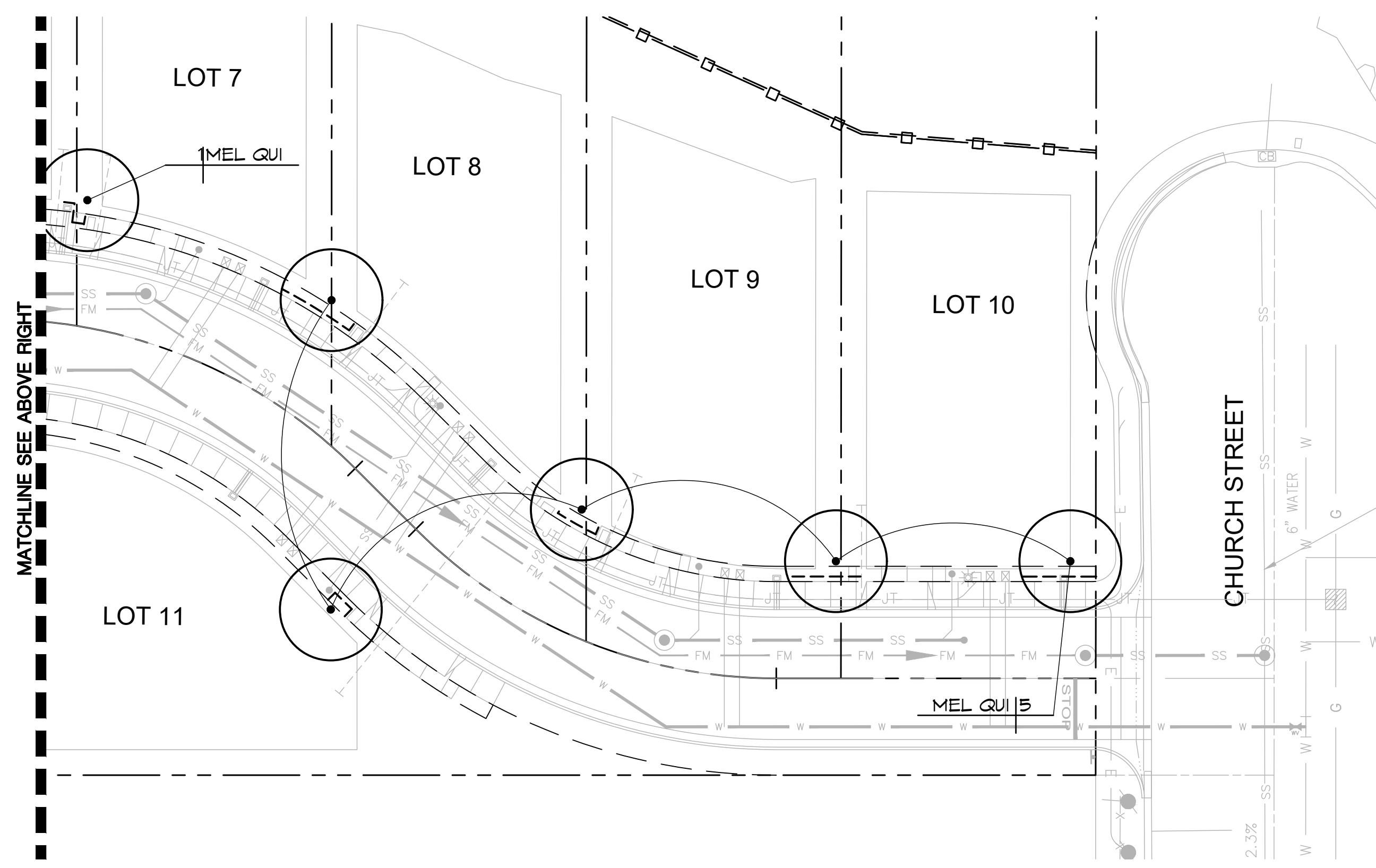
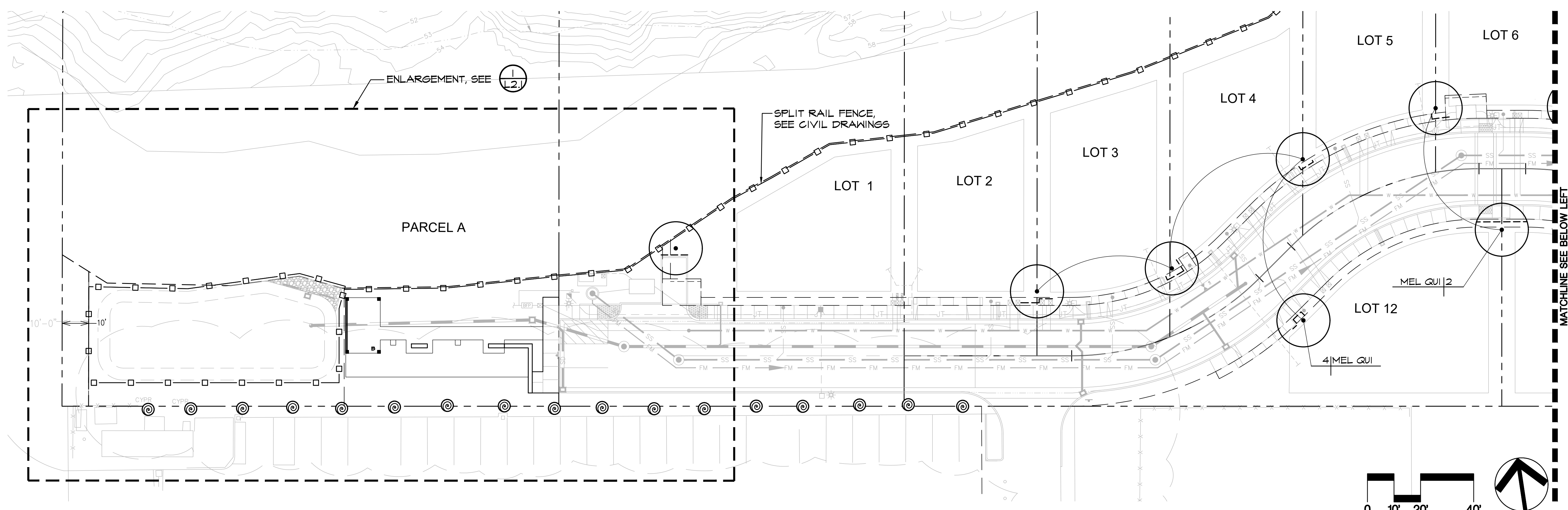
No.	Date	Revisions
AS SHOWN	06/17/2020	SSWD PLAN CHECK COMMENTS #2
AD	12/11/2020	PLAN CHECK REVISION #3
DC	02/14/2022	PLAN CHECK REVISION #4
ZK/BF	10/21/2022	

Date: 06/17/2020  
Scale: AS SHOWN  
Design: AD  
Drawn: DC  
Approved: ZK/BF  
Job No: 19008

L1.1  
OF

DRAWING NAME: \\ASFCALLSMW\Projects\2019 Projects\19008\_320ChurchSt\Subdivision\3\_ConstructionDocuments\19008\_IR.dwg  
PLOT DATE: 10-21-22 PLOTTED BY: adeny

DRAWING NAME: \\ASFCALLS\Projects\2019 Projects\320ChurchStSubdivision\3\_ConstructionDocuments\19008\_SC.dwg  
 PLOT DATE: 10-21-22 PLOTTED BY: adeng



**LANDSCAPE PLAN NOTES**

- MULCH:** INSTALL A UNIFORM THREE INCH COVERING OF WALK-ON MULCH, 2" MAX PARTICLE SIZE, IN ALL AREAS TO BE PLANTED UNLESS OTHERWISE SHOWN ON PLANS. MATERIAL AVAILABLE FROM REDI-GRO, (800) 654-4358, OR EQUAL.
- EXISTING PLANT MATERIAL:** PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. REPAIR ANY DAMAGES INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
- GROUNDCOVER:** PROVIDE GROUNDCOVER AT INDICATED ON-CENTER SPACING THROUGHOUT ALL AREAS TO BE PLANTED. GROUNDCOVER SHALL BE PROVIDED UP TO THE WATERING BASIN OF ALL TREES AND SHRUBS.
- QUANTITIES:** THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT. FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE DRAWINGS.
- TOPSOIL:** ALL PLANTING AREAS TO RECEIVE A SIX INCH LAYER OF NATIVE TOPSOIL PER SPECIFICATIONS.
- SOILS TESTING:** SEE SPECIFICATIONS FOR TESTING OF TOPSOIL AND AMENDMENTS. IN ADDITION, CONTRACTOR SHALL SUBMIT A FIVE GALLON SAMPLE OF NATIVE TOPSOIL FROM ANY AREAS PREVIOUSLY COVERED BY PAVING, TO WAYPOINT ANALYTICAL, INC. OF ANAHEIM, 4741 E. HUNTER AVE., STE A, ANAHEIM, CA, 92807 (714) 282-8777, FOR CONTAMINATION TESTING. TESTING REQUIRES FOUR TO FIVE WEEKS. CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR TESTING PRIOR TO CONSTRUCTION.
- PROJECT STAKING:** ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD FOR REVIEW BY THE CITY INSPECTOR PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.

**PLANT LIST**

ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>TREES</b>				
5 L32	MEL QUI MELALEUCA QUINQUENERVIA	CAJEPUT TREE	24" BOX	AS SHOWN
<b>SHRUBS/ PERENNIALS</b>				
CEA SKY	CEANOTHUS THYRSIFLORUS 'SKYLARK'	CALIFORNIA LILAC	5 GALLON	5'-0" O.C.
RHA CAL	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GALLON	6'-0" O.C.
<b>GROUNDCOVERS</b>				
L33	ACHILLEA MILLEFOLIUM	YARROW	1 GALLON	2'-0" O.C.
BAC PIG	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	1 GALLON	7'-0" O.C.
CEA ANG	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	ANCHOR BAY CEANOTHUS	1 GALLON	7'-0" O.C.
L33	EPILOBIUM CANUM 'CARMAN'S GRAY'	CALIFORNIA FUCHSIA	1 GALLON	2'-6" O.C.
MIM JEL	MIMULUS 'JELLY BEAN ORANGE'	ORANGE MONKEYFLOWER	1 GALLON	3'-0" O.C.
SAL SON	SALVIA SONOMENSIS	CREEPING SAGE	1 GALLON	5'-0" O.C.
<b>GRASSES</b>				
L33	DESCHAMPسيا CAESPITOSA	TUFTED HAIRGRASS	1 GALLON	2'-0" O.C.
	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GALLON	1'-6" O.C.
	JUNCUS PATENS	CALIFORNIA GREY RUSH	1 GALLON	2'-0" O.C.
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	1 GALLON	4'-0" O.C.
	NATIVE MOW FREE THROUGH DELTA BLUEGRASS			FROM SOD

FOR LANDSCAPE PLAN LEGEND SEE SHEET L2.1



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**LANDSCAPE PLAN**  
**CREEKSIDE COURT SUBDIVISION**  
**320 CHURCH STREET**  
 SAN MATEO COUNTY  
 CALIFORNIA



Date	Revisions	No.
06/17/2020	Scale AS SHOWN	
12/11/2020	SWID PLAN CHECK COMMENTS #2	
02/14/2022	PLAN CHECK REVISION #3	
10/21/2022	PLAN CHECK REVISION #4	
	Design AD	
	Drawn DC	
	Approved ZK/BF	
	Job No 19008	

Drawing Number:  
**L2.0**  
 OF

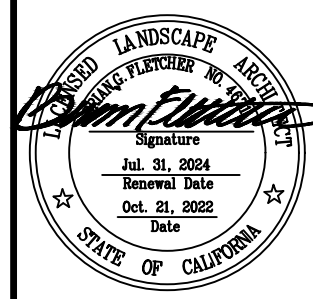


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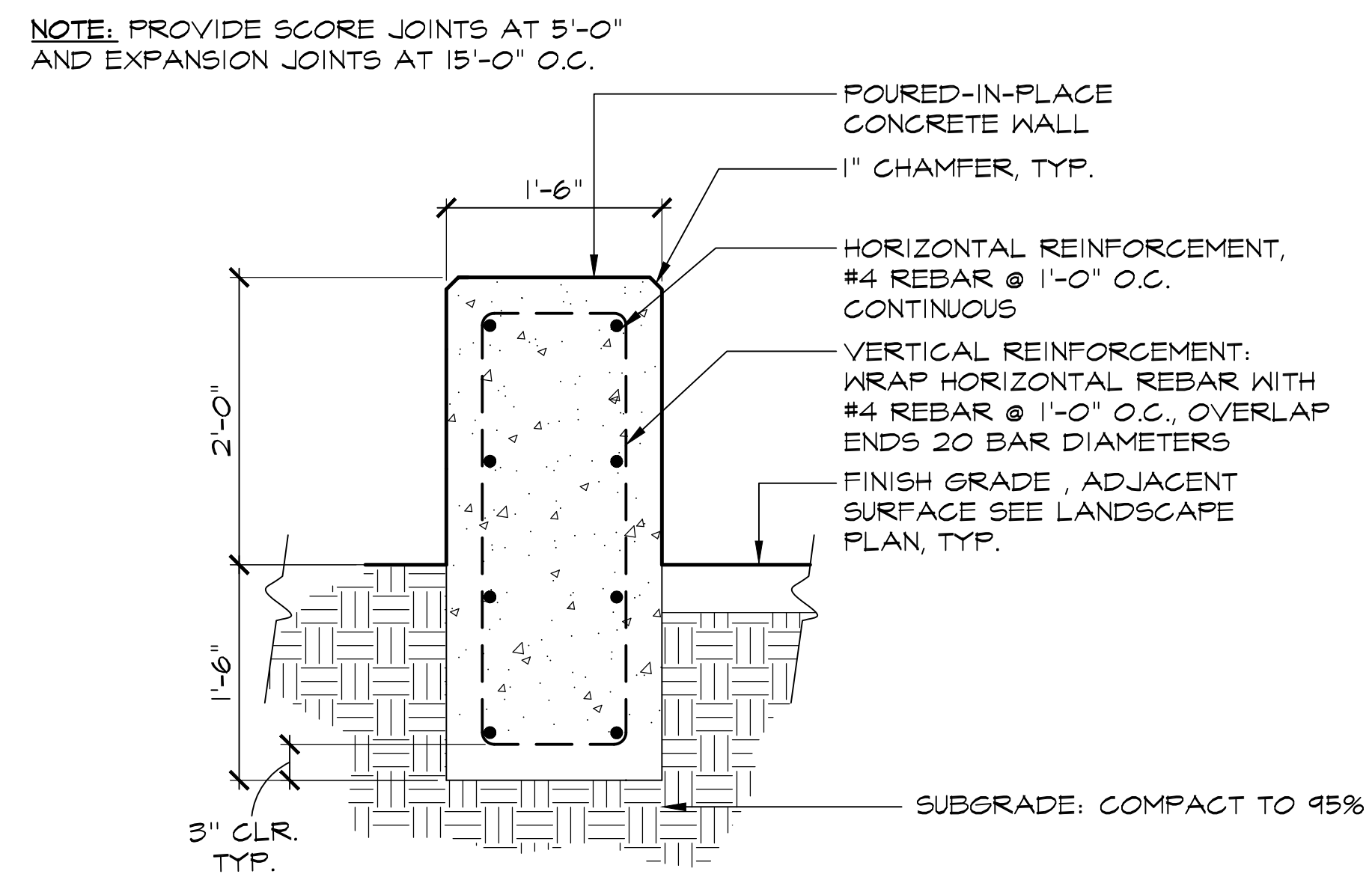
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 CREEKSIDE COURT SUBDIVISION  
 320 CHURCH STREET  
 SAN MATEO COUNTY  
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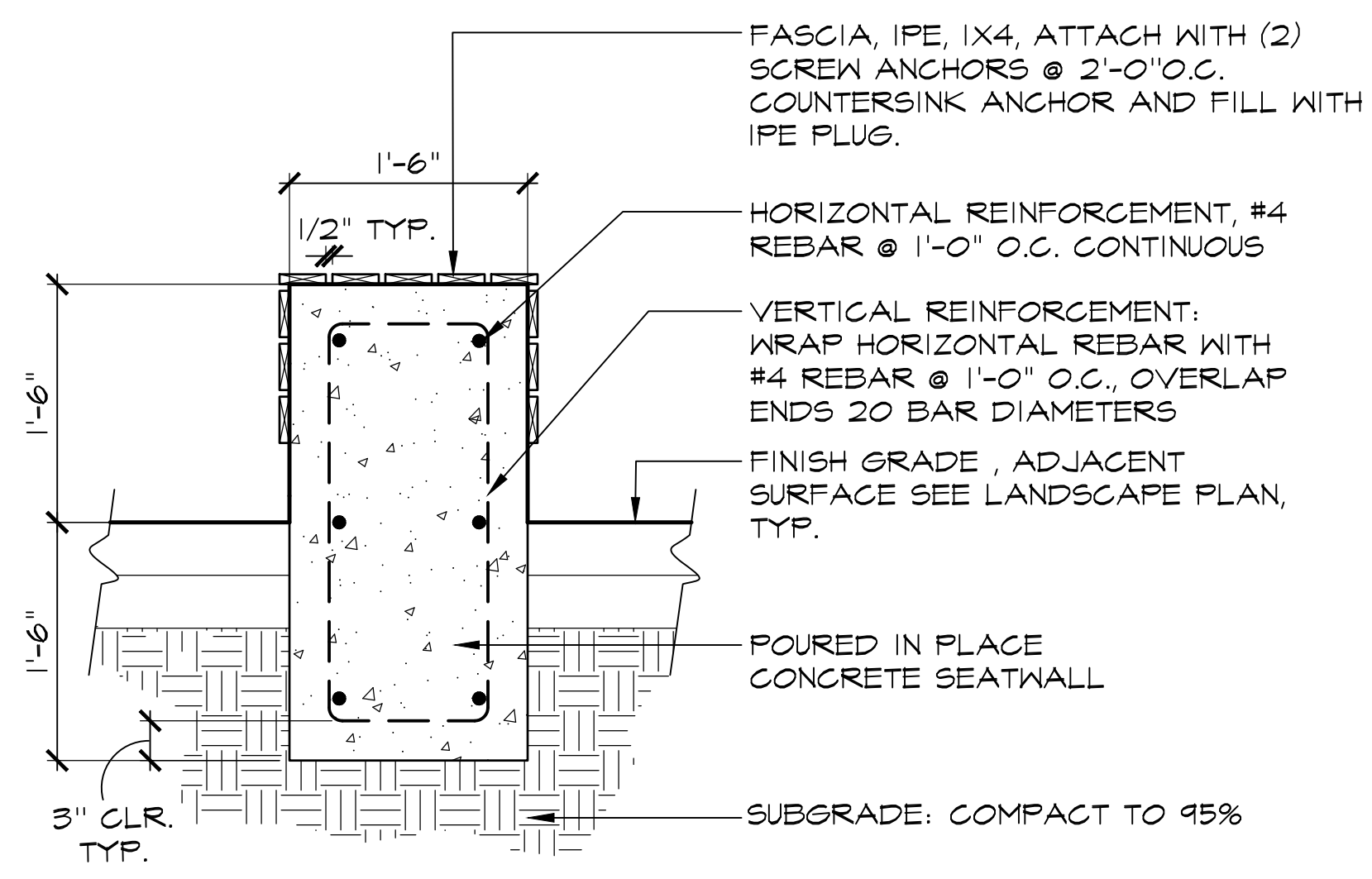


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DC	02/14/2022	PLAN CHECK REVISION #3
DC	10/21/2022	PLAN CHECK REVISION #4

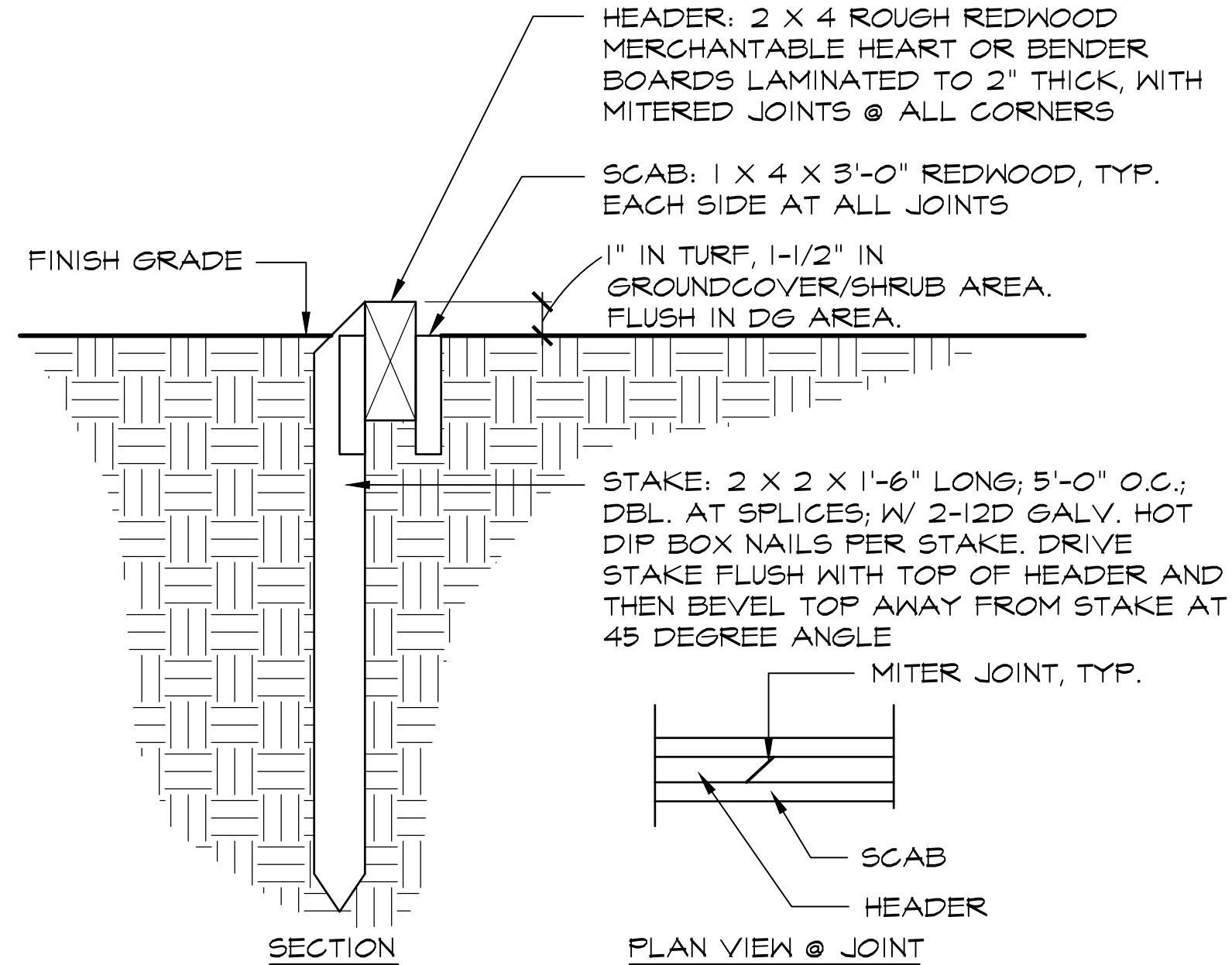
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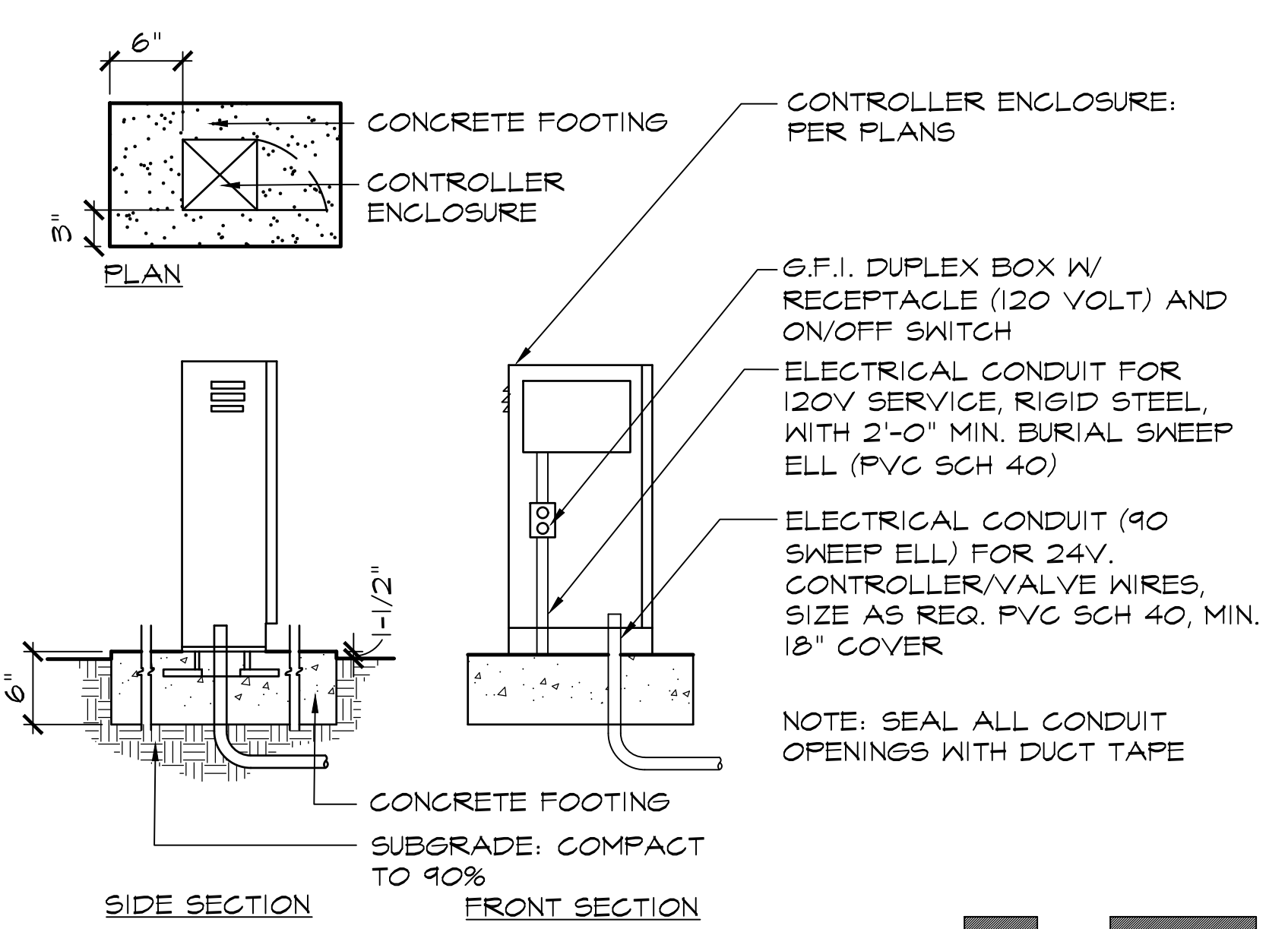
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**L3.0** CONCRETE WALL SECTION  
 19008 ConcreteWall 12.dwg



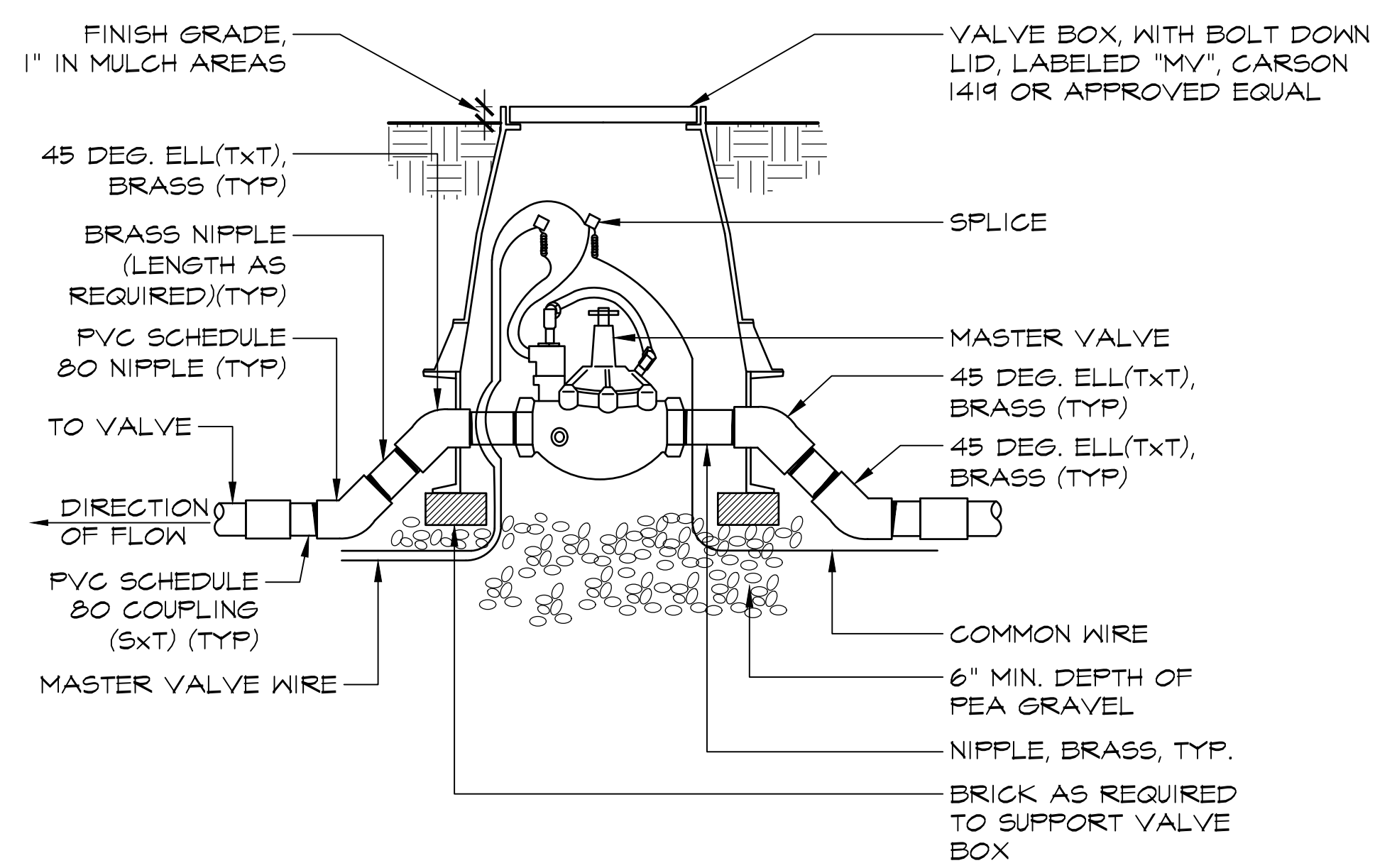
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**L3.0** CONCRETE SEATWALL SECTION  
 19008 ConcreteSeatwall 12.dwg



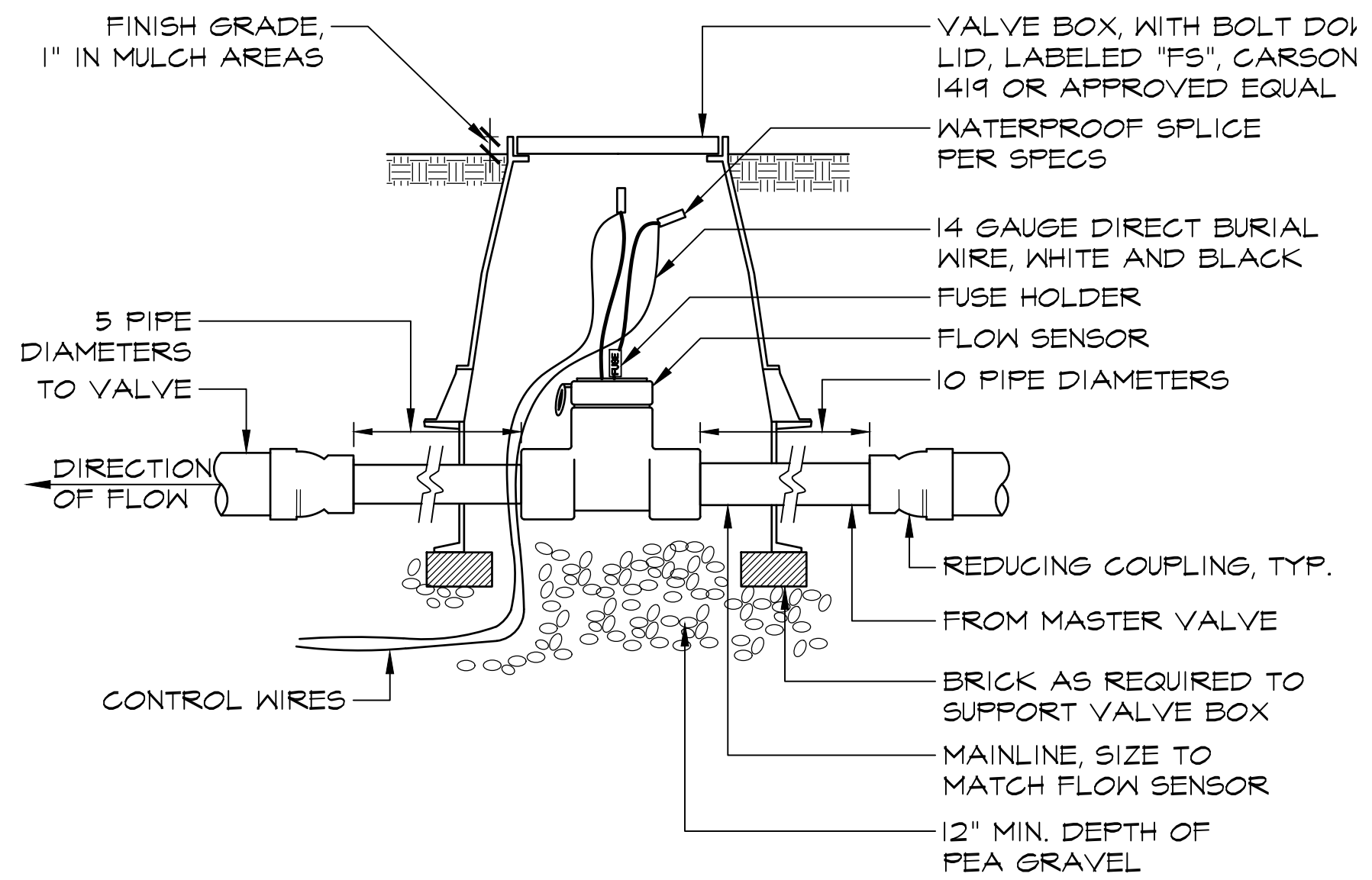
**3**  
**L3.0** HEADER BOARD SECTION  
 19008 Headerboard 116.dwg N.T.S.



**4**  
**L3.0** IRRIGATION CONTROLLER PLAN/SECTION  
 19008 Controller 2 12.dwg



**5**  
**L3.0** MASTER VALVE SECTION  
 19008 Master Valve 48.dwg N.T.S.



**6**  
**L3.0** FLOW SENSOR SECTION  
 19008 Flow Sensor 48.dwg N.T.S.

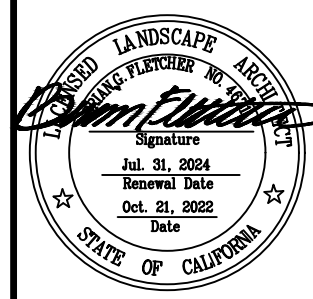
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 PLOT DATE: 10-21-22 PLOTTED BY: adeng

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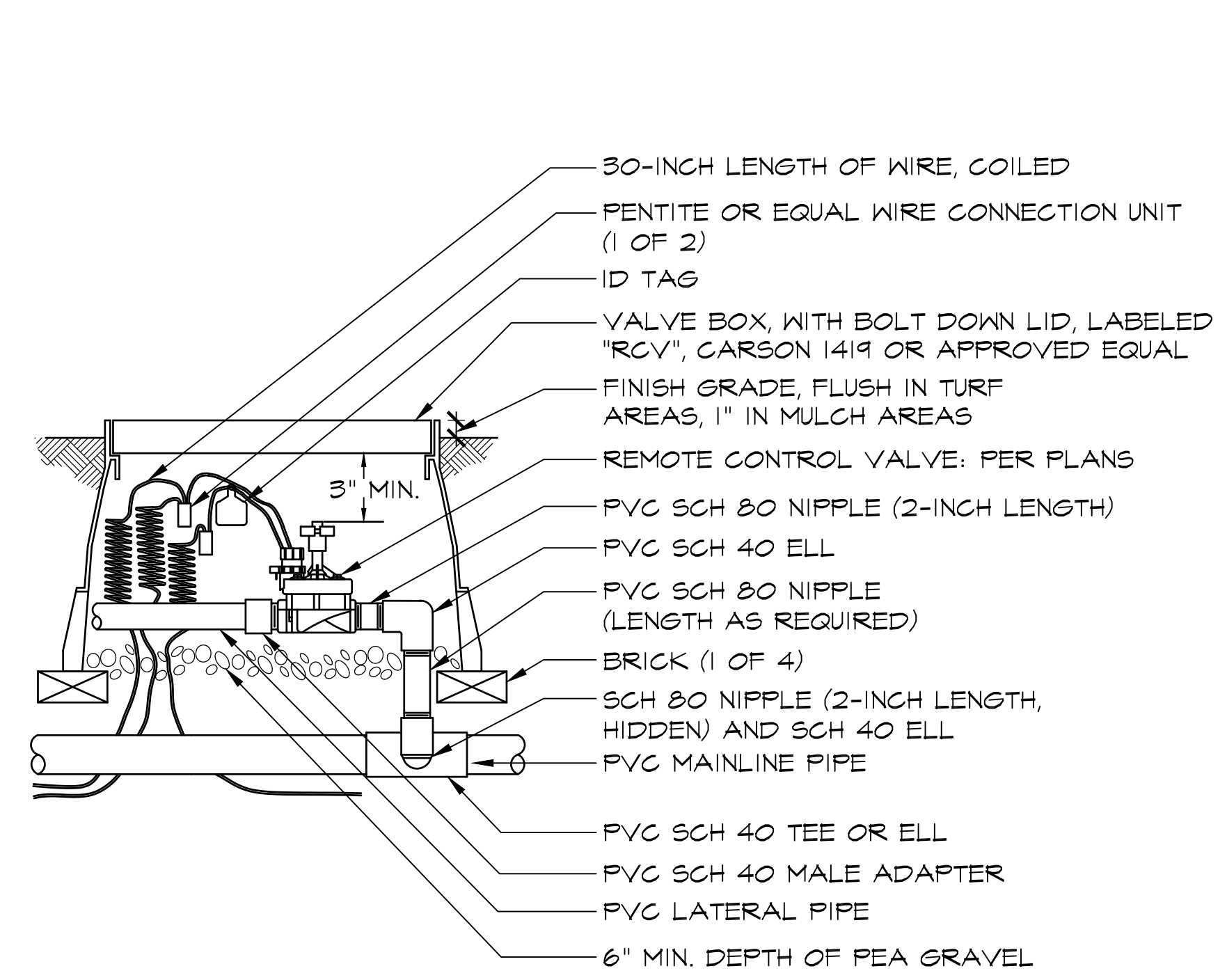


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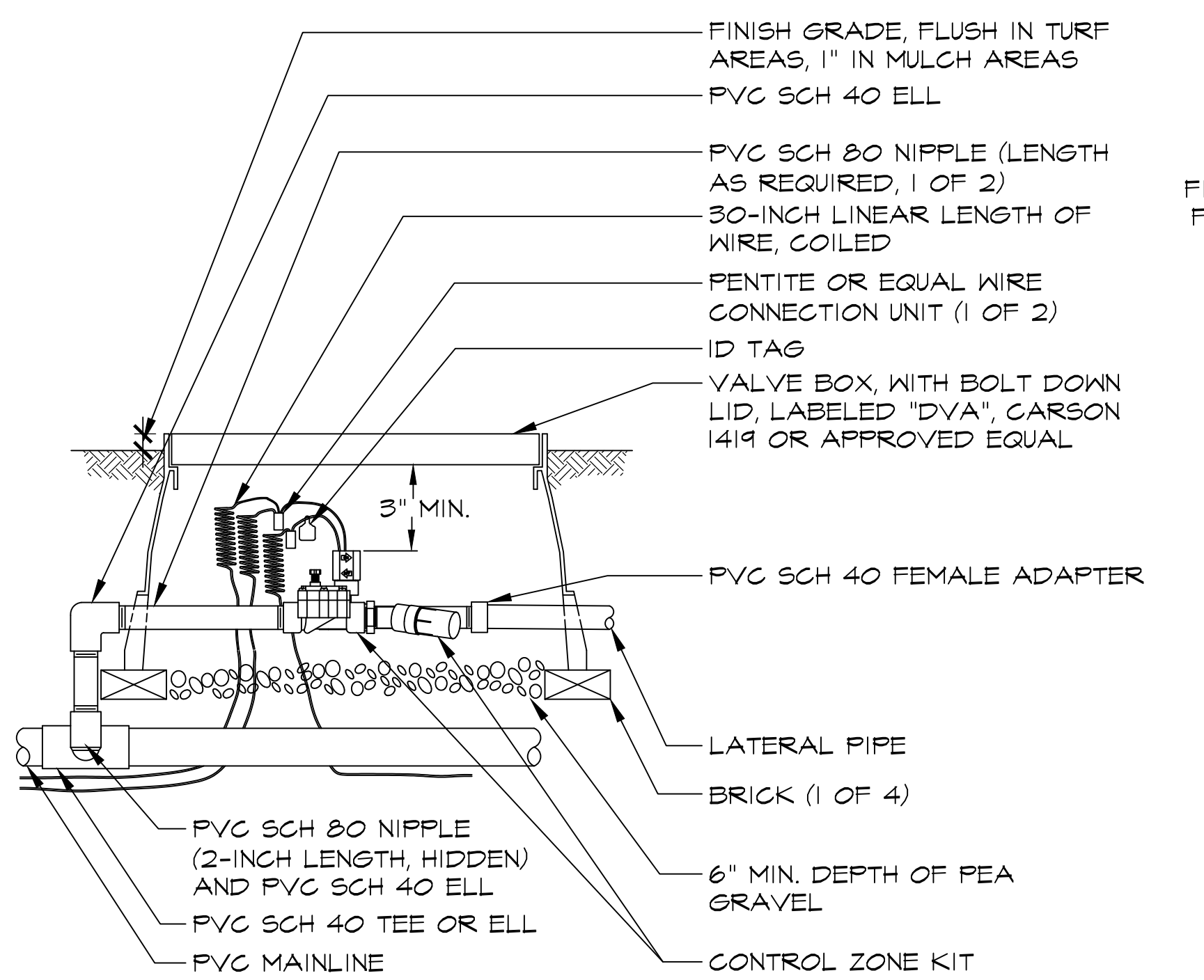
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 SAN MATEO COUNTY  
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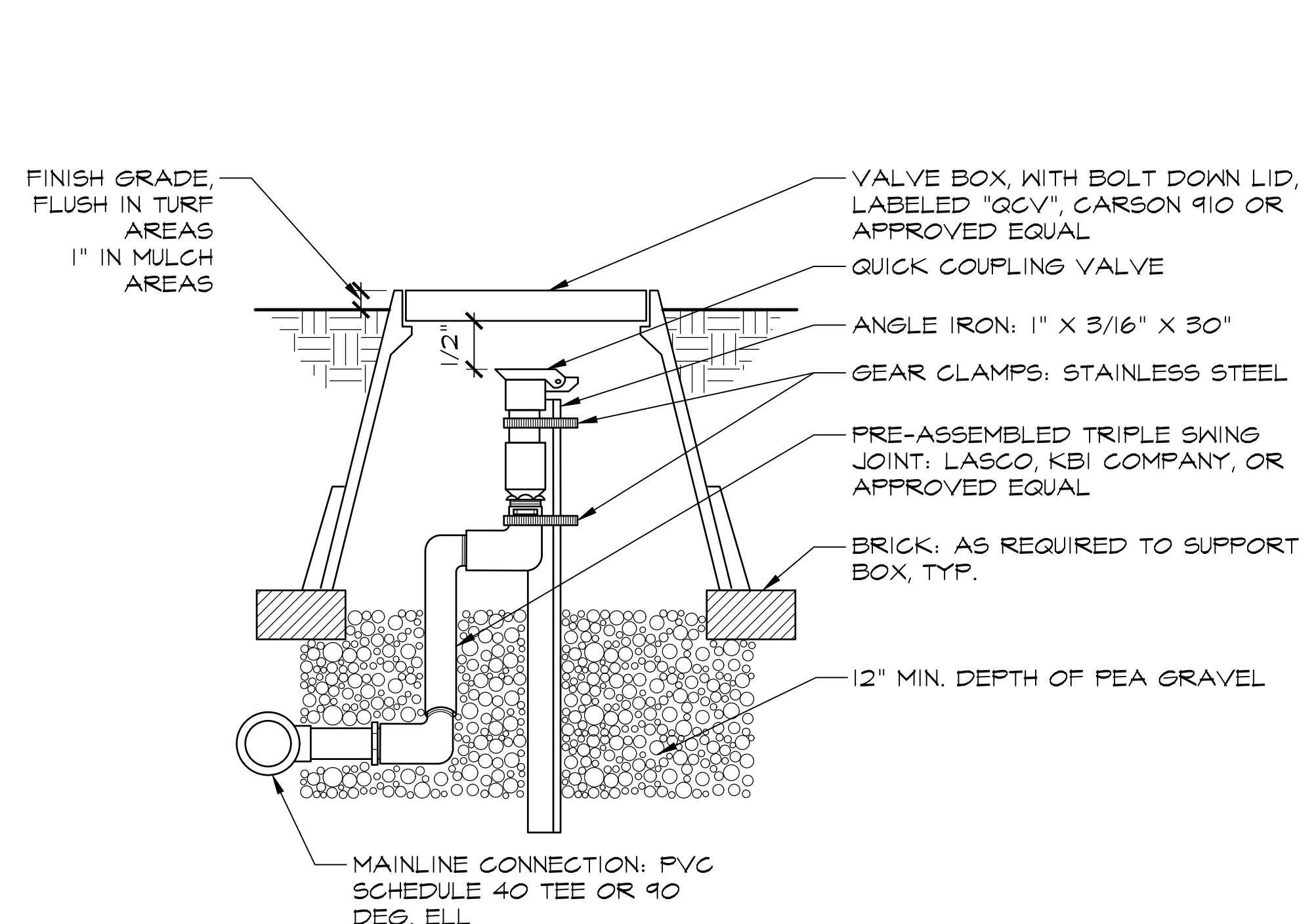
No.	Date	Revisions
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2	02/14/2022	PLAN CHECK REVISION #3
3	10/21/2022	PLAN CHECK REVISION #4



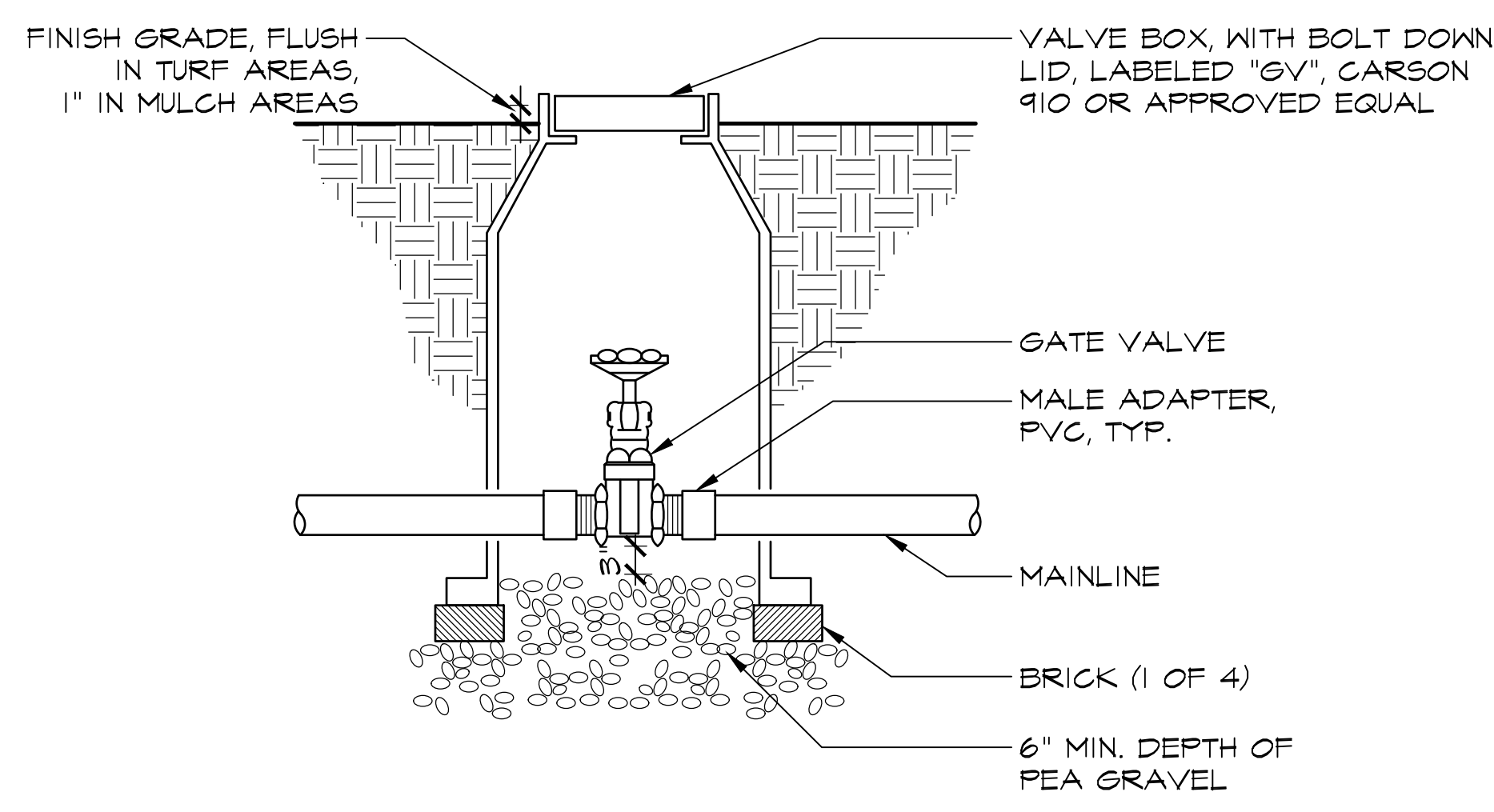
**1**  
**L3.1** REMOTE CONTROL VALVE SECTION N.T.S.  
 1900B Remote Control Valve 1.dwg



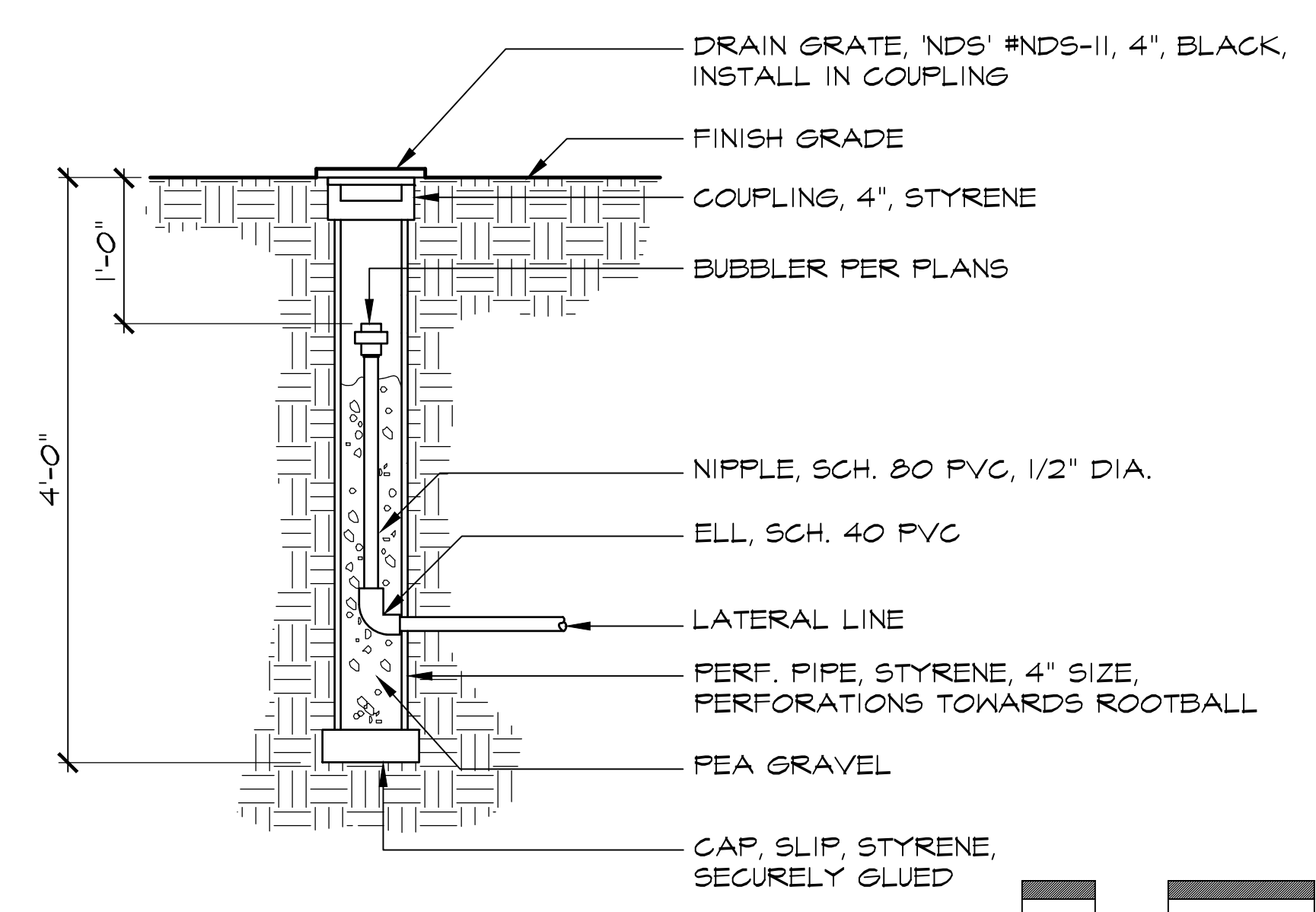
**2**  
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 1900B Drip Valve 1.dwg



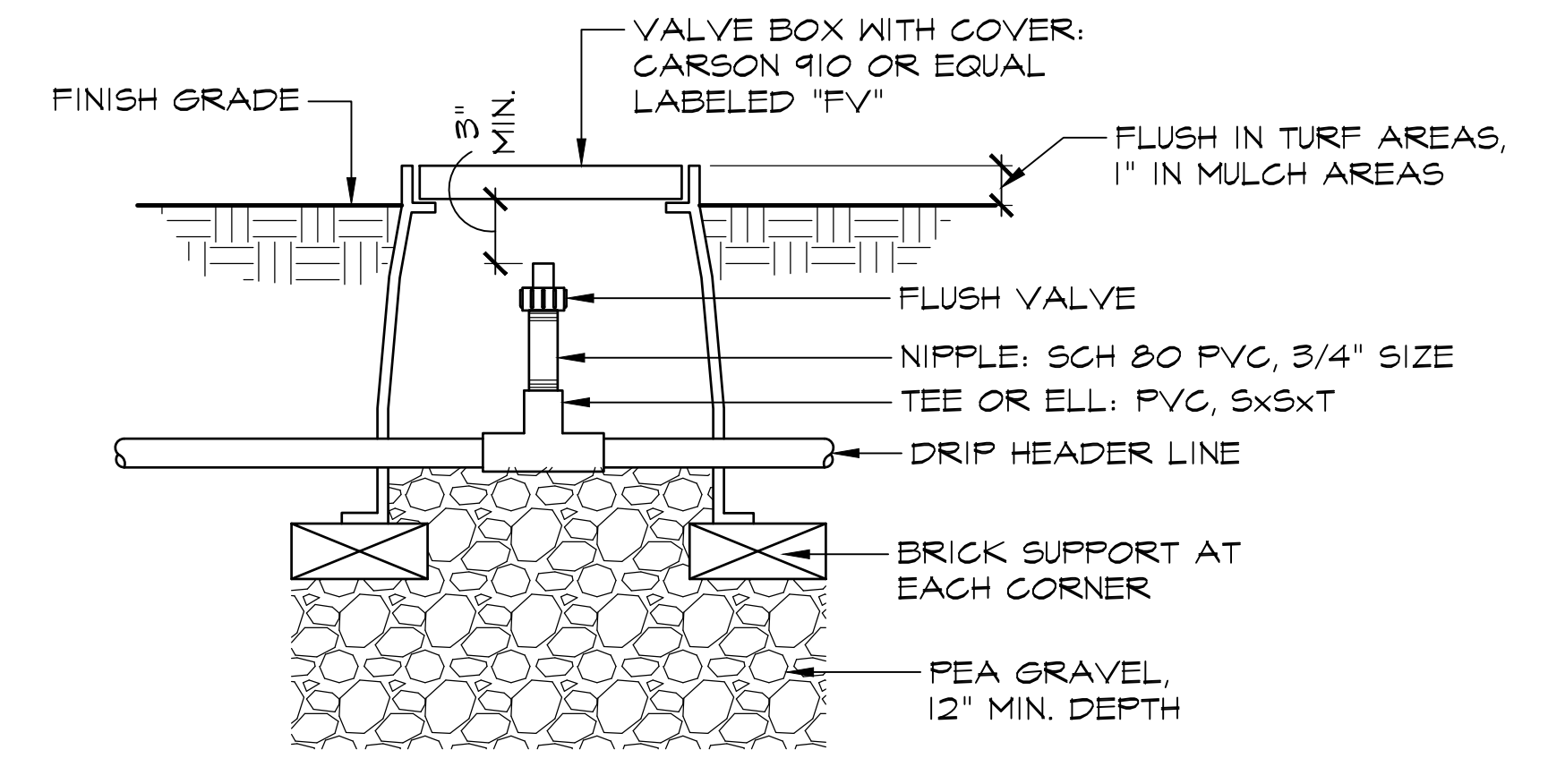
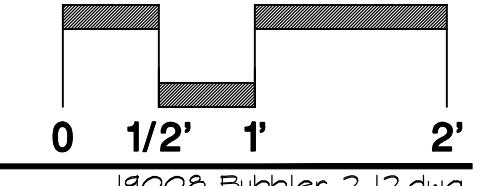
**3**  
**L3.1** QUICK COUPLING VALVE SECTION N.T.S.  
 1900B Quick Coupling Valve 4.dwg



**4**  
**L3.1** GATE VALVE SECTION N.T.S.  
 1900B Gate Valve 4.dwg



**5**  
**L3.1** TREE BUBBLER SECTION N.T.S.  
 1900B Bubbler 2 12.dwg



**6**  
**L3.1** FLUSH VALVE SECTION N.T.S.  
 1900B Drip Flush Valve Automatic 8.dwg

DRAWING NAME: \\A5FCALLSMA\p\Projects\2019\_Proj\Projects\19008\_320ChurchSt\Subdivision\3\_ConstructionDocuments\19008\_DT.dwg  
 PLOT DATE: 10-21-22  
 PLOTTED BY: adeng

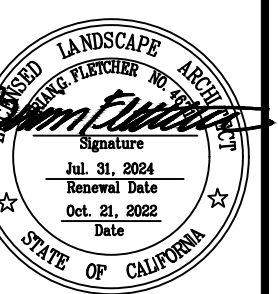


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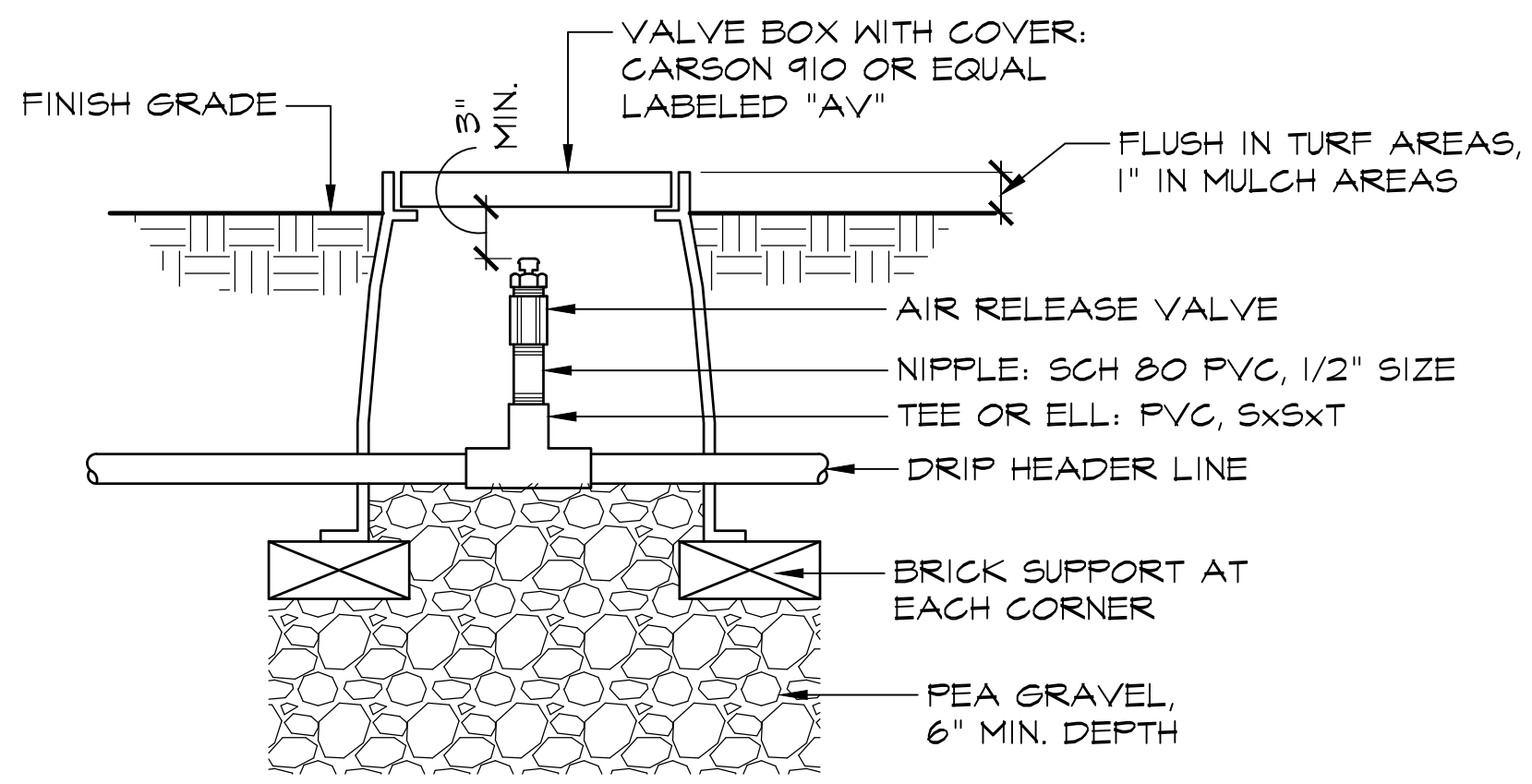
LANDSCAPE DETAILS  
 CREEKSIDE COURT SUBDIVISION  
 320 CHURCH STREET  
 SAN MATEO COUNTY  
 CALIFORNIA  
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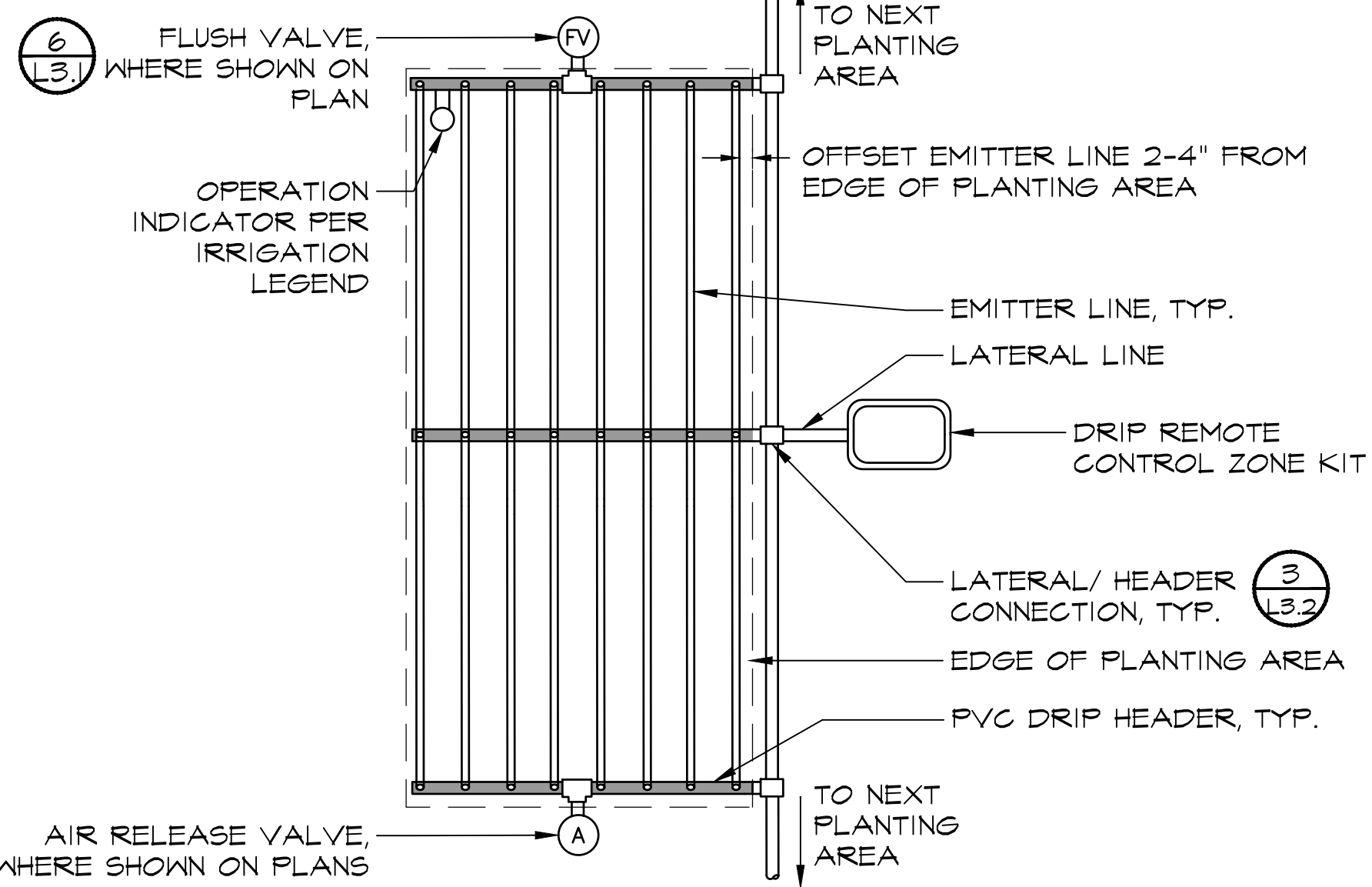
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No.	06/17/2020
Scale	AS SHOWN
Design	AD
Drawn	DC
Approved	ZK/BF
Job No	19008

Drawing Number:  
**L3.2**

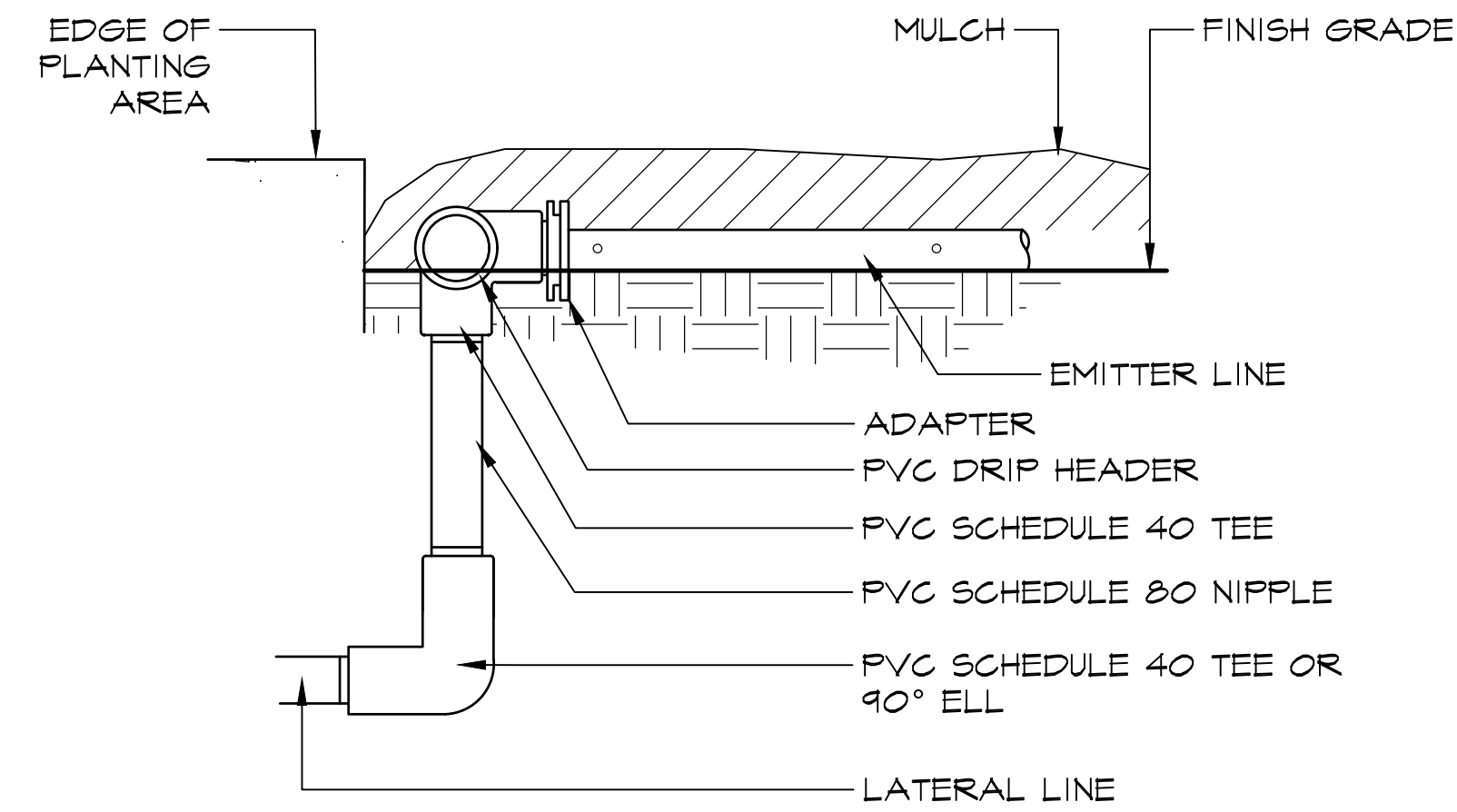
**NOTES:**  
 1. STAKE EMITTER LINE EVERY 4 FEET.  
 2. LATERAL LINE, FLUSH VALVE AND DRIP VALVE ASSEMBLY SHOWN OUTSIDE OF PLANTING AREA FOR GRAPHIC PURPOSES ONLY. LOCATE WITHIN PLANTING AREA WHERE POSSIBLE.



**1**  
**L3.2** AIR RELEASE VALVE SECTION N.T.S.  
 19008 Air Vacuum Relief Valve 8.dwg

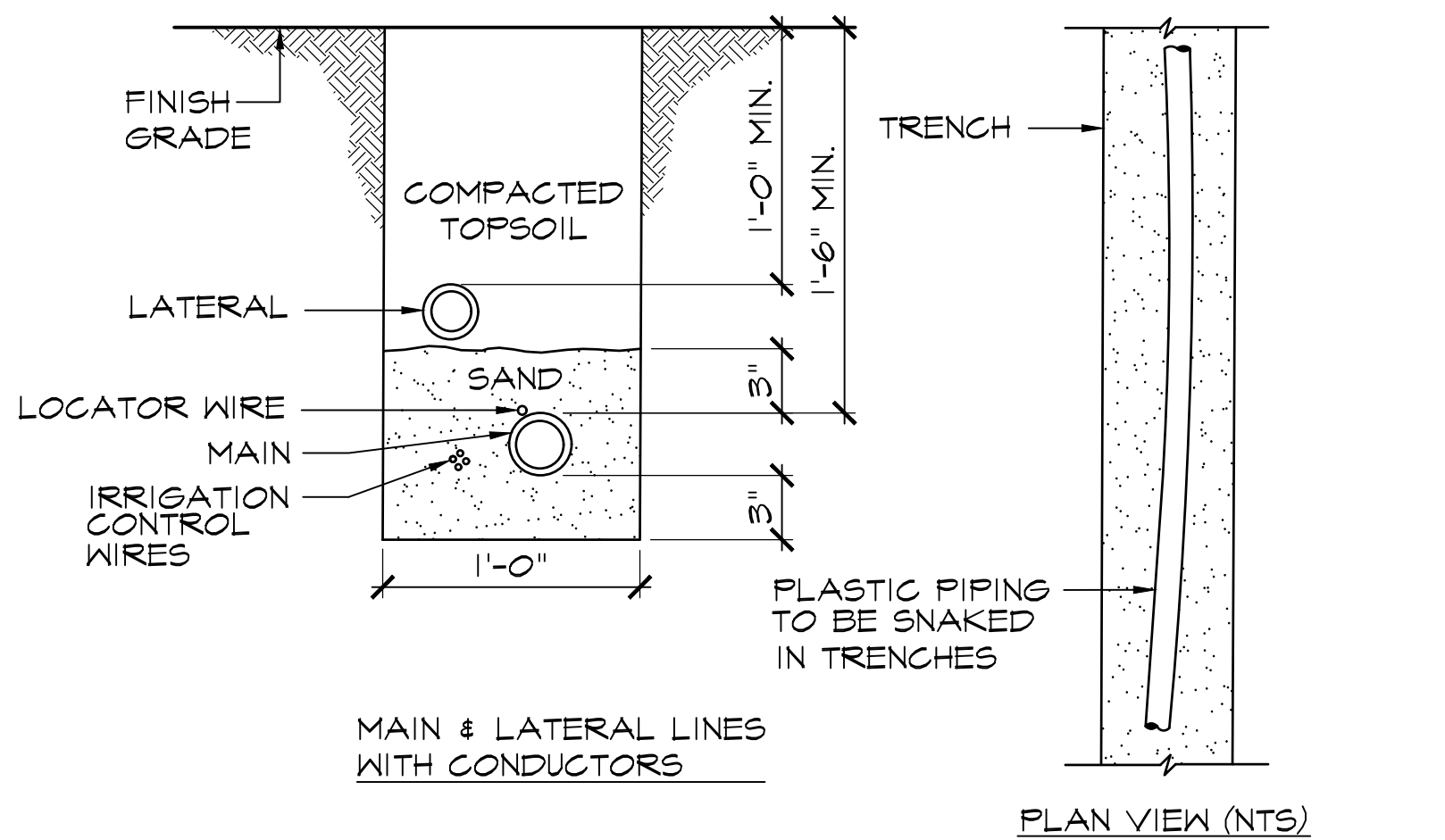


**2**  
**L3.2** DRIP IRRIGATION LAYOUT PLAN N.T.S.  
 19008 Drip Center Feed Layout 1.dwg

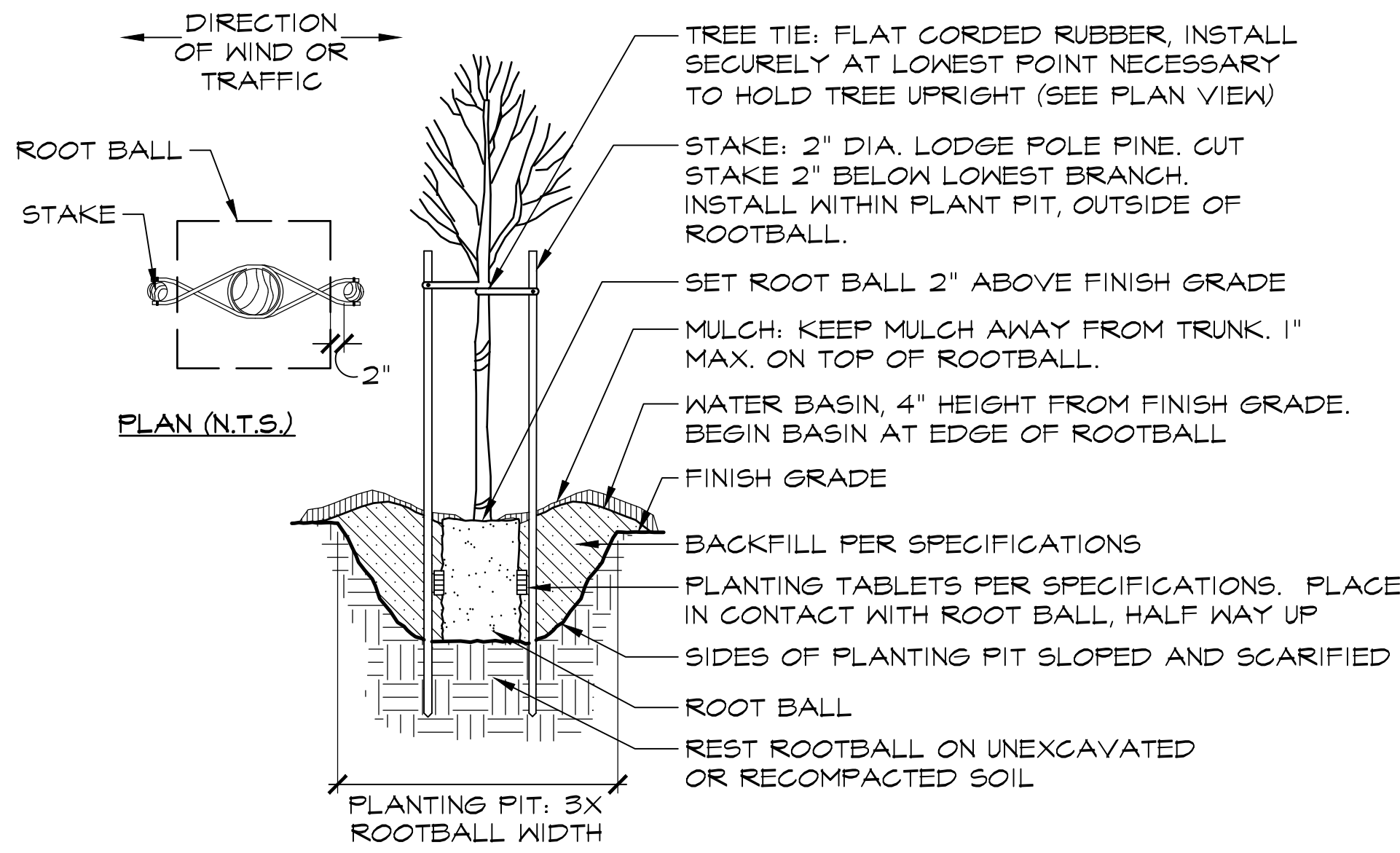


**3**  
**L3.2** LATERAL/HEADER CONNECTION SECTION N.T.S.  
 19008 Drip Lateral Header Connection 8.dwg

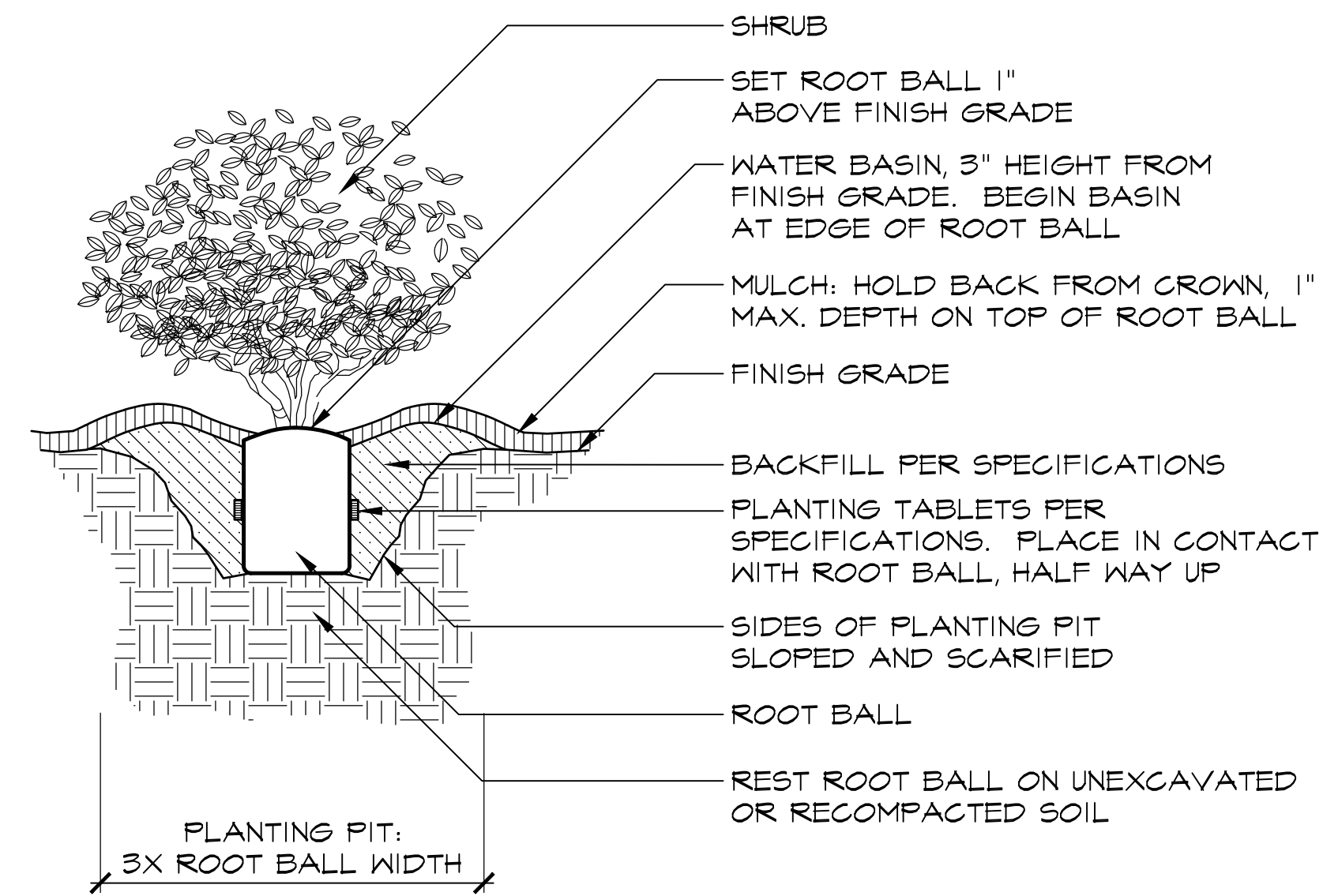
**NOTE:**  
 1. TAPE AND BUNDLE WIRING AT 10'-0" INTERVALS.  
 2. PROVIDE A MINIMUM 1" VERTICAL CLEARANCE FROM ALL UTILITIES. CONFIRM MINIMUM VERTICAL CLEARANCES WITH GOVERNING AGENCIES



**4**  
**L3.2** IRRIGATION TRENCHING SECTION N.T.S.  
 19008 Irrigation Trenching 8.dwg



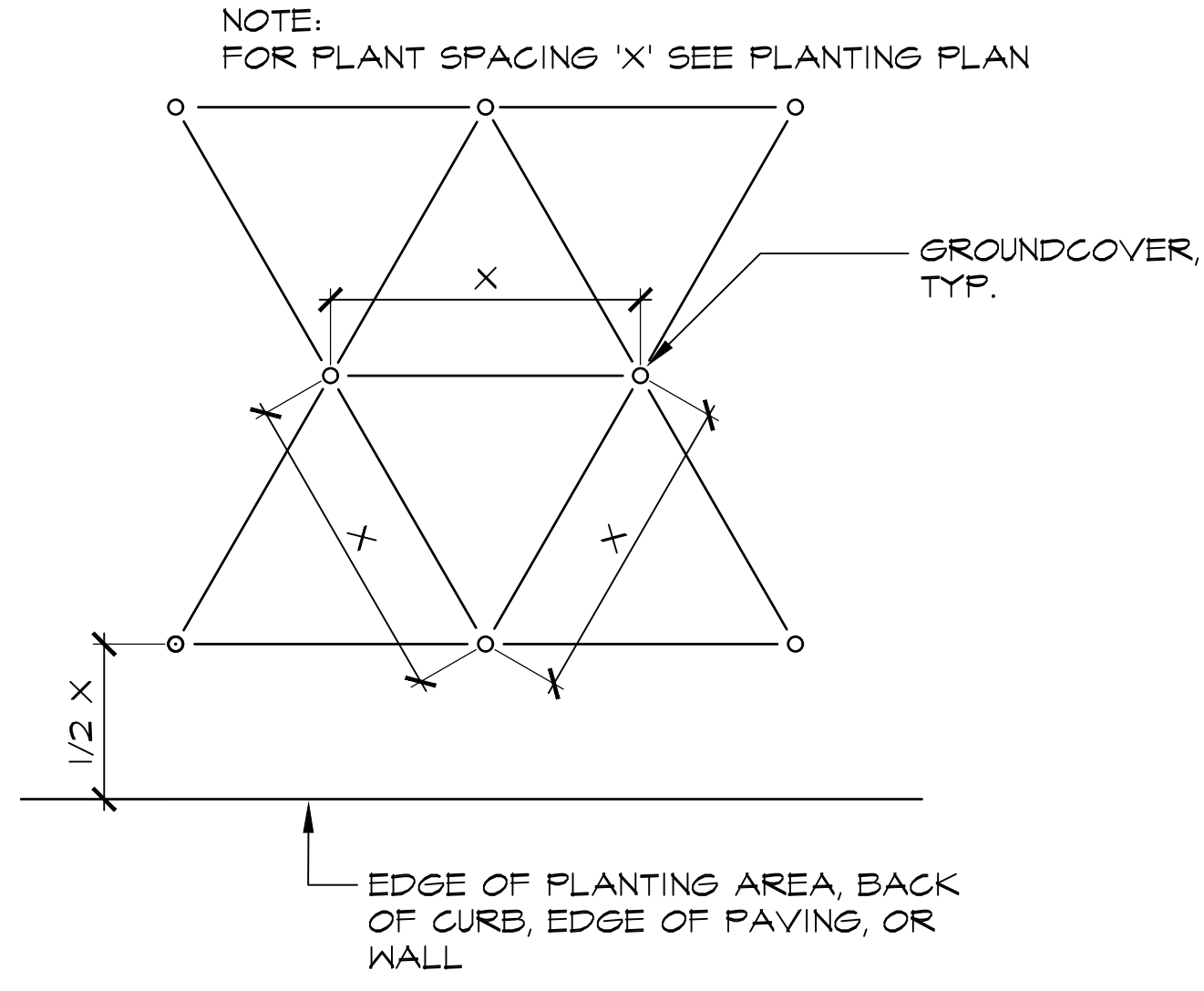
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**L3.2** TREE STAKING SECTION N.T.S.  
 19008 TreePlanting\_32.dwg



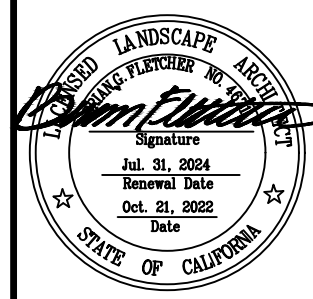
**6**  
**L3.2** SHRUB PLANTING SECTION N.T.S.  
 02950\_ShrubPlanting\_48.dwg

DRAWING NAME: \\A5FCALLSMA\Projects\2019 Projects\320ChurchSt\Subdivision\3\_ConstructionDocuments\19008\_DT.dwg  
 PLOT DATE: 10-21-22  
 PLOTTED BY: adeng

**1**  
**L3.3** **GROUNDCOVER SPACING** **PLAN** **N.T.S.**  
 19008\_Groundcover Spacing 48.dwg



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Date	Scale	Design	Drawn	Approved	Job No
06/17/2020	AS SHOWN	AD	DC	ZK/BF	19008

No.	Revisions	Date
	SSMD PLAN CHECK COMMENTS #2	12/17/2020
	PLAN CHECK REVISION #3	02/14/2022
	PLAN CHECK REVISION #4	10/21/2022

**L3.3**

**LANDSCAPE DETAILS**  
**CREEKSIDE COURT SUBDIVISION**  
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Date	Scale	No.	Revisions	Date
04/05/2019	AS SHOWN			05/04/2022
	Design		PLAN CHECK COMMENTS #4	
	Drawn		REVISIONS	09/02/2022
	Approved RH		REVISIONS	01/09/2023
	Job No 20180123		PLAN CHECK - CCMD	04/26/2023
			PLAN CHECK REVISIONS	05/16/2023

DRAWING NAME: \\BKF-r-c\dat\2018\180123\_320\_Church\_Street\ENG\cshets.dwg  
PLOT DATE: 05-22-23  
PLOTTED BY: wort

PDP-2017-031  
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**Exhibit B**  
**Conditions of Approval – PDP 17-031**  
**Creekside Subdivision**

**A. The following Conditions from the 2014 California Coastal Commission issued Coastal Development Permit apply as revised for City of Half Moon Bay permit oversight and issuance:**

*NOTE: Substantive modifications of conditions from the Coastal Commission approval are indicated in ~~strike through~~ and underline. In some cases, conditions have already been implemented or are duplicative of the City's standard requirements, mitigation measures, and/or conditions of approval. These occurrences are described below.*

**1. FINAL PROJECT PLANS.** Development of the site shall conform to the Final Project Plans to comply with the following requirements:

a. **Design.** The Plans shall clearly identify all measures that will be applied to ensure that the project design, including all future structures and all other future project elements (e.g., residences, driveways, roads, fencing, lighting, utilities, signage, landscaping, picnic benches, etc.), do not lead to significant adverse impacts on public views from Highway 1, including by ensuring that such development and future building sites are sited and designed so as to limit the appearance of bulk and mass and to blend seamlessly with the surrounding environment.

b. **Landscaping.** The Plans shall identify all plant materials (size, species, quantity, etc.), all irrigation systems, and all proposed maintenance measures. All plant materials shall be native and non-invasive species selected to be complementary with the mix of native habitats in the project vicinity, prevent the spread of exotic invasive plant species, and avoid contamination of the local native plant community gene pool. To the extent feasible, landscaping at maturity shall screen or soften the appearance of new development as seen from Highway 1. The Permittee shall continuously maintain all landscaped areas on the project site and continuously maintain all plant material in a litter-free, weed-free, and healthy growing condition. The Permittee shall remove and shall not plant any species listed as problematic or invasive by the California Native Plant Society,

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developable portion of the parcels, and the following development if approved by CDP: education and research, fishing, pedestrian and equestrian trails that have no adverse impact on sensitive species or habitat, and fish and wildlife management activities to restore damaged habitat and to protect and encourage the survival of rare and endangered species.

i. **Park Area at Project's Western End.** The remaining portion of the proposed westernmost parcel fronting Highway 1, outside of the sensitive habitat area as described above will be restricted in development to visitor serving passive open space uses such as picnic tables and benches and the hammerhead turnaround. The park will be located pursuant to the City condition of approval adjacent to the proposed new residential development and be setback and sheltered from Highway 1 by the vegetated drainage swale.

2. **Parcels.** This condition is deleted because the City's conditions of approval and the City Engineer review process defines the Final Map recordation requirements and the Tentative Subdivision Map conforms to the Coastal Commission's approval.

3. **Sensitive Habitat- Open Space Easement.**

4. **Sensitive Habitat- Open Space Area Development Rights Extinguished.**

Conditions 3 and 4 are deleted because the applicant has already recorded deed restrictions prohibiting future development in the "Sensitive habitat Open Space Area" to the satisfaction of the Executive Director of the California Coastal Commission including an offer to dedicate.

5. **Park Area Development Rights Extinguished.** This condition is deleted because the applicant has already recorded deed restrictions prohibiting future development of the portion of Parcel A proposed to be a passive use park area. The only other use of this space shall be the drainage detention swale, which is an acceptable use pursuant to confirmation from Coastal Commission staff.

6. **Construction Plan.** This condition is duplicative of City requirements, conditions of approval and mitigation measures for review and approval of construction plans and inspection and oversight of construction activities including all of the following included in Condition #6: review of construction areas, construction methods and timing.

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**B. The following Conditions shall apply to issuance of any permit:**

**1. CONFORMANCE WITH APPROVED PLANS.** Development of the site shall conform to the approved plans entitled Tentative Subdivision Map – Creekside Court, LLC with a City date stamp of May 17, 2017, except for any revisions required by this permit. The Community Development and Public Works Directors shall review and approve any deviation from the approved plans. In the event the Directors determines that any proposed changes warrant Planning Commission review and approval, the applicant shall submit the revised plans for consideration at a public hearing before the Planning Commission. (Community Development and Public Works Departments)

**2. CONFORMANCE WITH THE MUNICIPAL CODE.** No part of this approval shall be construed to permit a violation of any part of the Half Moon Bay Municipal Code. (Community Development Department)

**3. MITIGATION MONITORING.** This project shall comply with all of the requirements of the adopted Mitigation Monitoring Program to the satisfaction of the Community Development Director. Mitigation Measures are provided below and hereby incorporated into the conditions of approval. (Community Development Department)

**AESTHETICS**

**MM 4.1d-1** The project applicant shall implement the following mitigation measures to reduce impacts associated with increased nighttime lighting:

- Light fixtures, including roadway illumination and lighting for commercial uses, shall be the minimum height needed for public safety and shall be shielded to downcast light to prevent glare on adjacent properties.
- Illuminated entries and signs shall utilize direct lighting low to the ground and be limited to only the immediate vicinity of the entry.
- Landscape lighting shall be unobtrusive and shielded to prevent glare.

Timing/Implementation: Prior to approval of building permits  
Enforcement/Monitoring: Community Development Department

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**MM 4.4a-1a** Prior to any vegetation removal or ground-disturbing activities, focused surveys shall be conducted to determine the presence of fragrant fritillary, which has the potential to occur in the BSA. Surveys shall be conducted in accordance with CDFG Guidelines for Assessing the Effects of Proposed Projects on Rare, Threatened, and Endangered Plants and Natural Communities (CDFG 2000). These guidelines require rare plant surveys to be conducted at the proper time of year when rare or endangered species are both "evident" and identifiable. Field surveys shall be scheduled to coincide with known blooming periods and/or during periods of physiological development that are necessary to identify the plant species of concern. With regard to this species, the rare plant surveys should be conducted between February and April to identify the plant during its blooming period. If no fragrant fritillary is found within the project footprint, then the project will not have any impacts to the species and no additional mitigation measures are necessary.

**MM 4.4a-1b** If fragrant fritillary is present within the BSA, a Worker Environmental Awareness Program (WEAP) shall be implemented to educate construction workers about the presence of special-status species or other sensitive resources in and near the BSA, and to instruct them on proper avoidance, required measures and practices for protecting biological resources, and contacts and procedures in case species are injured or encountered during construction.

**MM 4.4a-1c** If fragrant fritillary is found on-site and cannot be avoided, the City shall consult with the USEWS and/or the CDFG, as applicable, to determine appropriate avoidance and mitigation for special-status plants, which may include, but are not limited to the following:

- Efforts should be made to salvage portions of the habitat or plant populations that will be lost as a result of implementation of the proposed project.
- Transplant the plants that would be adversely affected by the proposed project for either re-establishment after construction is complete or for planting in a new area of the riparian corridor in appropriate habitat.
- A propagation program should be developed for the salvage and transfer of rare, threatened, or endangered plant populations from the project site before the initiation of construction activities. Permits may be required from the CDFG or the

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the California Invasive Plant Council, or the State of California, and any species listed as a noxious weed by the State of California or the U.S. Federal Government.

c. **Water Quality.** The Plans shall include design-level, Low Impact Development and Best Management Practices for the subdivision, including provisions for individual semi-permeable pavement for the hammerhead turnaround, and a drainage plan for the subdivision as a whole consistent with City required compliance to the San Mateo County Storm Water Pollution Prevention Program (SWPPP), mitigation measures and other related conditions of approval.

d. **Lighting.** There shall be no exterior night lighting, other than the minimum lighting necessary for pedestrian and vehicular safety purposes. All lighting shall be downward directed and designed so that it limits the amount of light or glare visible from Pilarcitos Creek, the adjacent riparian vegetation, and the 50-foot sensitive habitat buffer to the maximum extent feasible. Lighting plans shall be submitted with documentation associated with chosen lighting features demonstrating compliance with this condition with photometric site plans and specifications indicating complete cut-off at the southern edge of the buffer, and no glare to the private street or adjacent properties.

e. **Site Maintenance.** All site maintenance activities, including those associated with maintaining landscaping, shall be clearly identified, and shall only be allowed consistent with the terms and conditions of this coastal development permit.

f. **Property Lines.** All existing and proposed property lines, easement boundaries and restricted area boundaries for the subject property shall be clearly and accurately identified and depicted.

g. **Utilities Underground.** All utilities shall be installed underground per City standards.

i. **Sensitive Habitat Open Space Area.** No development, as defined in Section 30106 of the Coastal Act, shall occur in the area generally described as Pilarcitos Creek, its riparian vegetation, and the 50-foot buffer extending out from the edge of the riparian vegetation, located on the northern portion of the subdivided parcels adjacent to Pilarcitos Creek, except for placement of low-level fencing that allows for wildlife movement and that demarcates the extent of the sensitive habitat open space area from the remaining

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construction requirements including on-site biologist survey and implementation of protection measures for sensitive species, the provision of site-control measures, delineation of work area limitations to ensure construction activities do not impact environmentally sensitive habitat areas, trash management, topsoil reuse, equipment and materials storage, fueling and equipment maintenance, use of hazardous materials, and maintenance of construction site documents.

7. **Final Storm Water Pollution Prevention Plan.** This condition is duplicative of City requirements, conditions of approval and mitigation measures associated with the comprehensive stormwater pollution prevention plan preparation, review, and oversight.

8. **Cumulative Public Access Impact Mitigation.** This condition is deleted because the applicant is including lot retirements as part of the project description. The City conditions of approval require that prior to issuance of the first Building Permit, the applicant demonstrates either that the lots purchased have been deed restricted to extinguish their development rights in perpetuity; or that the lots have been conveyed to an open space trust or other appropriate land management entity as determined by the City of Half Moon Bay.

9. **Deed Restriction.** This condition is deleted because the applicant has already recorded the required deed restriction.

10. **Half Moon Bay Conditions of Approval.** This condition is deleted because the City of Half Moon Bay conditions of approval are included herein and have been updated to reflect the City's most current engineering and planning requirements substantially in conformance, but more restrictive than those referenced in Condition #10 of the Coastal Commission Coastal Development Permit in 2014.

11. **Water Supply.** This condition is duplicative of City conditions regarding the demonstration of adequate water supply and water connections.

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**AIR QUALITY**

**MM 4.3d-1** The project applicant shall specify in project plans the implementation of BAAQMD's basic construction mitigation measures from Table 8-1 of the BAAQMD's CEQA Guidelines (described under b) above). The measures shall be implemented as necessary to adequately control dust. In addition, the following measures shall also be implemented in order to reduce the emissions of toxic pollutants generated by heavy-duty diesel-powered equipment during construction.

a. Keep all construction equipment in proper tune in accordance with manufacturers' specifications.

b. Use late-model heavy-duty diesel-powered equipment during construction to the extent that it is readily available in the San Francisco Bay Area.

c. Use diesel-powered equipment that has been retrofitted with after-treatment products (e.g., engine catalysts) to the extent that it is readily available in the San Francisco Bay Area.

d. Use low-emission diesel fuel for all heavy-duty diesel-powered equipment operating and refueling at construction sites to the extent that it is readily available and cost effective in the San Francisco Bay Area. (This does not apply to diesel-powered trucks traveling to and from the site.)

e. Utilize alternative-fuel construction equipment (i.e., compressed natural gas, liquid petroleum gas, and unleaded gasoline) to the extent that the equipment is readily available and cost effective in the San Francisco Bay Area.

f. Limit truck and equipment idling time to 5 minutes or less.

g. Rely on the electricity infrastructure surrounding the construction sites rather than electrical generators powered by internal combustion engines to the extent feasible.

Timing/Implementation: During construction  
Enforcement/Monitoring: Community Development Department

**BIOLOGICAL RESOURCES**

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USFWS, which will ensure that certified biologists are involved in the propagation and transport of rare, threatened, or endangered plant species. (Note: Propagation methods for the salvaged plant population must be developed on a case-by-case basis and must include the involvement of local conservation easements/preserves/open space, where applicable). The propagation and transfer of individual plant species must be performed at the correct time of year and successfully completed before the project's construction activities eliminate or disturb the plants and habitats of concern.

Timing/Implementation: Prior to construction activities  
Enforcement/Monitoring: Community Development Department

**MM 4.4a-2a** All future development on the project site shall comply with the relevant City municipal ordinances and design standards, including the City's LCP/LUP.

**MM 4.4a-2b** All future development on the project site shall be sited outside of the Pilarcitos Creek riparian corridor and its riparian buffer zone.

**MM 4.4a-2c** All future development on the project site shall comply with the applicable San Francisco Bay Municipal Regional Stormwater Permit (San Francisco Bay RWQCB 2009) and San Mateo Countywide Water Pollution Prevention Program new development performance standards (SMCWPPP 2003), including low impact development (LID) techniques, to address both soluble and insoluble stormwater runoff pollutant discharges and to prevent increases in runoff flows from new development projects.

Timing/Implementation: Prior to and during construction activities  
Enforcement/Monitoring: Public Works Department

**MM 4.4a-3a** If construction activities occur within the nesting season (typically February 1 to August 30), then preconstruction surveys for nesting raptors and migratory birds shall be conducted by a qualified biologist up to two weeks prior to the start of construction activities, including vegetation clearing. The qualified biologist shall survey the construction zone and a 250-foot radius surrounding the construction zone in



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04/05/2019	AS SHOWN	PLAN CHECK COMMENTS #4	05/04/2022
	Design	D.L	09/02/2022
	Drawn	DJP/NK	01/09/2023
	Approved	RH	04/26/2023
	Job No	20180123	05/16/2023

Drawing Number:

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DRAWING NAME: \\BKF-r\c\dat\2018\180123\_320 Church Street\ENG\chsheets.dwg PLOT DATE: 05-22-23 PLOTTED BY: wort

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suitable habitat, where feasible, to determine whether the activities taking place have the potential to disturb or otherwise harm nesting birds.

**MM 4.4a-3b** If an active raptor nest is located within a 250-foot radius around the construction zone, including staging areas, or if an active migratory bird nest is located within a 50-foot radius and construction must take place during the breeding season, a buffer zone shall be established by a qualified biologist and confirmed by the appropriate resource agency. A qualified wildlife biologist shall monitor the nest to determine when the young have fledged and submit monthly monitoring reports to the City Planning Department throughout the nesting season on the status of the nest. The biological monitor shall have the authority to cease construction if there is any sign of distress to the raptor or migratory bird. Reference to this requirement and the MBTA shall be included in the construction specifications.

Timing/Implementation: Prior to and during construction activities  
Enforcement/Monitoring: Community Development Department

**MM 4.4a-5/4.4a-6:**

Mitigation Measures to reduce impacts to the California red-legged frog and San Francisco Garter Snake

At least 10 days prior to the onset of activities, the applicant or project proponent shall submit the name(s) and credentials of biologists who would conduct activities specified in the following measures. No project activities shall begin until proponents have received written approval from the USFWS that the biologist(s) is qualified to conduct the work.

All ground-disturbing activities including vegetation removal shall take place between April 15 and October 15 to avoid potential foraging California red-legged frog (CRLF) during wet weather and hibernating San Francisco Garter Snake (SFGS).

Prior to the start of groundbreaking activities, all construction personnel will receive training on listed species and their habitats by a USFWS-approved biologist. The importance of these species and their habitat

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activities will be clustered within these areas at the end of each work day or when not in use to minimize habitat disturbance and water quality degradation. Staging areas shall be setback a minimum of 50 feet from all sensitive habitat areas (Pilarcitos Creek and its associated riparian habitat).

Tightly woven fiber netting or similar material shall not be used for erosion control or other purposes at the project to ensure that the CRLF and SFGS do not get trapped. This limitation will be communicated to the contractor. Plastic mono-filament netting (erosion control matting), rolled erosion control products or similar material shall not be used at the project area because CRLF, SFGS, and other species may become entangled or trapped in it.

No trash shall be deposited on the site during construction activities. All trash shall be placed in trash receptacles with secure lids stored in vehicles and removed nightly from the project area.

Fueling and maintenance of equipment will be conducted off-site and at least 50 feet from any sensitive habitat area. Prior to the onset of work, the City will ensure that the contractor's stormwater pollution prevention plan (SWPPP) includes provisions for prompt and effective response to any accidental spills. All workers will be informed of the importance of preventing spills and of the appropriate measures to take should a spill occur.

All vegetation removed during construction activities will remain on-site upon completion of the proposed project. The remainder of the removed vegetation will be banded into small piles and placed near on-site aquatic areas to provide cover for local SFGS.

Because CRLF and SFGS may take refuge in cavity-like and den-like structures such as pipes and may enter stored pipes and become trapped, all construction pipes, culverts, or similar structures that are stored at a construction site for one or more overnight periods will be either securely capped prior to storage or thoroughly inspected for these animals before the pipe is subsequently buried, capped, or otherwise used or moved in any way. If a CRLF or SFGS is discovered inside a pipe by the on-site biologist or anyone else, the animal shall be allowed to passively leave the work area on its own, as determined by

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with minimum size twenty-four inch box specimens. Replacement trees shall be planted on site. Replacement trees shall be the same or a comparable species in terms of height and canopy.

Timing/Implementation: Prior to tree removal  
Enforcement/Monitoring: Community Development Department

**CULTURAL RESOURCES**

**MM 4.5abc-1** If buried historic, archeological, and/or paleontological resources are inadvertently discovered during ground-disturbing activities, work would stop in that area and within 100 feet of the find until a qualified archaeologist can assess the significance of the find and, if necessary, develop appropriate treatment measures in consultation with the City and other appropriate agencies. Avoidance is preferable, but if a resource cannot be avoided then recovery of the feature using appropriate archaeological methods would be warranted.

Timing/Implementation: During construction  
Enforcement/Monitoring: Community Development Department

**GREENHOUSE GAS EMISSIONS**

**MM 4.6a-1** Prior to issuance of building permits, the project applicant shall specify on the final project plans implementation of BAAQMD-recommended construction-related measures to reduce GHG emissions during construction activities. The proposed project shall also implement the following measures or identify alternative measures to reduce construction-related GHG emissions, as feasible:

- a. Use of alternative-fueled (e.g., biodiesel, electric) construction vehicles/equipment to the maximum extent possible;
- b. Use of local construction materials (within 100 miles) to the maximum extent possible; and
- c. Recycle construction waste and demolition materials to the maximum extent possible.

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for preparation and implementation of a final Storm Water Pollution Prevention Plan (SWPPP) outlined below.

The applicant shall submit a final SWPPP to the City of Half Moon Bay Director of Public Works for review and approval prior to issuance of a grading permit for subdivision improvements. The final SWPPP shall include provisions for all of the following:

- a. Sedimentation Controlled. Runoff from the project site shall not increase sedimentation in coastal waters post-construction. During construction, runoff from the project site shall not increase sedimentation in coastal waters beyond what is allowable under the final Water Quality Certification approved for the project by the Regional Water Quality Control Board.
- b. Pollutants Controlled. Runoff from the project site shall not result in other pollutants entering coastal waters or wetlands during construction or post-construction.
- c. BMPs. Best Management Practices (BMPs) shall be used to prevent the entry of polluted stormwater runoff into coastal waters and wetlands during construction and post-construction, including use of relevant BMPs as detailed in the current California Storm Water Quality Best Management Handbooks (<http://www.cabmphandbooks.com>).
- d. Spill Measures. An on-site spill prevention and control response program, consisting of BMPs for the storage of clean-up materials, training, designation of responsible individuals, and reporting protocols to the appropriate public and emergency services agencies in the event of a spill, shall be implemented at the project to capture and clean-up any accidental or other releases of oil, grease, fuels, lubricants, or other hazardous materials, including to avoid them entering coastal waters or wetlands.
- e. BMP Schedule. A schedule for installation and maintenance of appropriate construction source-control BMPs to prevent entry of stormwater runoff into the construction site and to prevent excavated materials from entering runoff leaving the construction site.

Timing/Implementation: Prior to approval of final maps  
Enforcement/Monitoring: Public Works Department

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will be described to all employees as well as the minimization and avoidance measures that are to be implemented as part of the project. An educational brochure or flyer containing color photographs of all listed species in the work area(s) will be distributed to all employees working within the project area.

Temporary wildlife exclusion fencing will be erected and maintained around the perimeter of the Project and Project staging areas to prevent SFGS and CRLF from entering the site. ERTEC brand or similar USFWS-approved exclusion fencing material shall be used; ERTEC-designed fence is preferred due to its re-usability, thus reducing the amount of landfill waste generated from silt or plywood fencing (requires glue or foam adhesives that are non-reusable). Installation of the fence will be performed under the supervision of a USFWS-approved biologist. Once the fencing is installed, workers will clear all vegetation within this area with belt driven weed whackers or other hand tools to a height of four to six inches. Fencing will be equipped with one-way escape funnels. Fencing will extend a minimum of 36-inches above ground level and will be buried four inches to six inches into the ground. Exclusion fencing will be checked a minimum of one time per week by a biological monitor for the duration of the Project to identify problems or weaknesses in fence integrity and function. All compromised portions will be repaired and/or replaced immediately. Upon completion of the Project, all fencing material will be removed from the site and disposed of properly (or preferably re-used).

A USFWS-approved biologist shall survey the work site immediately before the onset of any ground-disturbing activities including vegetation removal (following installation of the temporary exclusion fencing and any vegetation trimming). If any small mammal burrows are found during the survey, they shall be carefully excavated by hand to allow any animals to escape. If CRLF or SFGS are found, the approved biologist shall contact the USFWS for further guidance. Only USFWS-approved biologists shall participate in activities associated with the capture, handling, and monitoring of CRLF. Any SFGS shall be allowed to leave the work area on their own accord, and shall be monitored as practical by the biologist to ensure they do not reenter the work area.

Designated construction staging areas will be utilized as the staging areas for the construction activities. All vehicles associated with project

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the USFWS-approved biologist. If a CRLF or SFGS is trapped, a CRLF permitted biologist shall relocate the individual(s) with permission from USFWS. If SFGS are discovered, the snake may be relocated by a permitted biologist with USFWS approval.

To prevent inadvertent entrapment of sensitive herpetofauna during construction, the construction foreman/manager shall ensure that all excavated, steep-walled holes or trenches more than one foot deep are completely covered at the close of each working day by plywood or similar materials, or provided with one or more escape ramps constructed of earth fill or wooden planks and inspected by the on-site biologist. Before such holes or trenches are filled, they will be thoroughly inspected for trapped animals. If at any time a trapped CRLF or SFGS is discovered, the animal shall be allowed to passively leave the work area on its own, as determined by the USFWS-approved biologist. If a CRLF or SFGS is trapped, a CRLF permitted biologist shall move the individual(s) with permission from USFWS. If SFGS are discovered, the snake may be relocated by a permitted biologist with USFWS approval.

Permanent wildlife exclusion fencing will be incorporated into the proposed project to prevent SFGS and CRLF from entering the developed area and prevent humans and domestic animals from accessing the adjacent upland and riparian habitat along Pilarcitos Creek. Installation of the permanent fence will be performed under the supervision of a USFWS-approved biologist. Galvanized mesh with a maximum 1/2-inch opening, or solid plastic fencing (or other flat, non-climbable material) will extend a minimum of eight inches below grade to a minimum twelve inches above grade, and will be incorporated into a privacy fence or similar fence used to restrict human and domestic animal movement. Permanent exclusion fencing will be maintained by the landowner.

Timing/Implementation: Prior to and during construction activities  
Enforcement/Monitoring: Community Development Department

**MM 4.4a-7** Consistent with the City's Municipal Code Chapter 17.40, the applicant shall obtain a permit from the City to remove the cypress trees and mitigate for this loss by replacing removed trees on a one-for-one basis

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Timing/Implementation: During construction  
Enforcement/Monitoring: Community Development Department

**GEOLOGY AND SOILS**

**MM 4.7a-1** Prior to issuance of each building permit, the project applicant shall submit plans to the City of Half Moon Bay for review and approval demonstrating project compliance with the 2007 California Building Standards Code (or most recent version) seismic requirements and the recommendations of a design-level geotechnical investigation. All soil engineering recommendations and structural foundations shall be designed by a licensed professional engineer. The approved plans shall be incorporated into the proposed project. All on-site soil engineering activities shall be conducted under the supervision of a licensed geotechnical engineer or certified engineering geologist.

Timing/Implementation: Prior to the issuance of building permits  
Enforcement/Monitoring: Community Development Department

**HYDROLOGY AND WATER QUALITY**

**MM 4.9af-1** Prior to issuance of the Final Map, the project applicant shall be required to develop and submit a design-level drainage study, which shall include more precise calculations of stormwater runoff for small/frequent storms as well as flood-level events based on the actual structures proposed (site management). In addition, best management practice sizing of drainage structures shall be included. The study shall demonstrate specific reduction measures consistent with C3 guidance and quantify reductions in stormwater flows.

Specifically, plans shall include design-level, Low Impact Development runoff management structural and non-structural Best Management Practices for the subdivision, including provisions for individual lots, a semipermeable pavement hammerhead turnaround, and a drainage plan for the subdivision on a whole consistent with NPDES requirements

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**NOISE**

**MM 4.12acd-1** The following noise attenuation requirements shall apply to all construction activities associated with the project:

- Construction activities shall be limited to between the hours of 7 AM and 6 PM on weekdays, 8 AM and 6 PM on Saturdays, and 10 AM and 6 PM on Sundays and holidays.
- All construction equipment shall use noise-reduction features (e.g., mufflers and engine shrouds) that are no less effective than those originally installed by the manufacturer.
- Construction staging and heavy equipment maintenance activities shall be performed a minimum distance of 100 feet from the nearest off-site residence, unless safety or technical factors take precedence.
- Stationary combustion-driven equipment such as pumps or generators operating within 100 feet of any off-site residence shall be shielded with a noise protection barrier.

Timing/Implementation: During construction activities  
Enforcement/Monitoring: Community Development Department

- 4. **ANNUAL REPORTS.** The Applicant shall file annual reports with the Planning Director certifying that the mitigation measures have been incorporated into the project, implemented or maintained as a condition of project approval. If the required reports are not filed or the mitigation measures are not implemented, the City shall stop the project from continuing to be processed, constructed, and shall prohibit occupancy. The Planning Director shall use a Mitigation Monitoring Checklist to certify that the mitigation measures have been implemented. City staff monitoring dates shall generally be tied to project milestones such as Grading Permit, Improvement Plans, Final Subdivision Map recordation, Building and Occupancy Permits. (Planning)
- 5. **PAYMENT OF FEES.** The Applicant shall pay all outstanding fees and charges due and make any necessary escrow deposits prior to approval of a Final Map. (Community Development and Public Works Departments)
- 6. **GATES AND FENCES.** The private street serving the new community shall not be gated nor fenced, the passive open space recreation area shall not be fenced, and



Date	No.	Revisions	Date
04/05/2019	AS SHOWN		05/04/2022
	Design	PLAN CHECK COMMENTS #1	09/02/2022
	Drawn	REVISIONS	01/09/2023
	Approved RH	PLAN CHECK - CC&M	04/26/2023
	Job No	PLAN CHECK REVISIONS	05/16/2023

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area. The plans shall include signage, painted curbs, or lines to identify fire access roads and state the prohibition on their obstruction. (Fire)

26. **FIRE HYDRANT.** Pursuant to 2013 California Fire Code, Appendix B and C, the Final Map and Improvement Plans shall demonstrate provision of Fire District approved fire hydrant(s) (CLOW 960) within 200 feet of all future residential development measured by way of drivable access. The hydrant(s) must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Additional fire flow is required for single-family dwellings over 3,600 square feet. (Fire)

27. **COASTSIDE COUNTY WATER DISTRICT - REGULATIONS.** The project shall comply with all applicable regulations and requirements of the Coastside County Water District. (Water District)

28. **COASTSIDE COUNTY WATER DISTRICT - WATER SERVICE TRENCHING.** Water service shall not be in the same trench as other utilities. (Water District)

D. The following conditions shall be implemented prior to issuance of a Grading Permit and during construction:

1. **CONSTRUCTION NOTICE.** No less than 5 days prior to commencement of any construction or construction staging activities, the permittee shall provide written notice of the construction activity to the residents of properties located within 300 feet of the area of construction or construction staging. The notice shall provide the following: the City file number (PDP-17-031); a brief description of the project; the date the work will commence; the anticipated duration of the work; the hours of construction; and the name and phone number of the Construction Coordinator responsible for ensuring compliance with the construction requirements of this permit. (Public Works Department)

2. **CONSTRUCTION PLANS.** File Number PDP-17-031 and the Conditions of Approval for this project shall be provided on the cover page of the building or grading permit application submittal. All plans, specifications, engineering calculations, diagrams, reports, and other data for construction of the building and required improvements shall be submitted with the appropriate permit application to the City's Building and Engineering Divisions for review and approval. Computations and back-up data will be considered a part of the required plans. Structural calculations and engineering calculations shall be prepared, wet-stamped and signed by an engineer or architect licensed by the State of California. (Public Works Department)

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f) Construction of accessible ramps as required;  
g) Installation of street lights;  
h) Installation of street trees adjacent to the street.

All improvements shall comply with ADA standards (sidewalk cross slope no more than 2% and clear path of travel) and with the line of sight requirements of Half Moon Bay Zoning Code Section 18.06.040(B). (Public Works Department)

18. **LOT DRAINAGE PLAN AND ON-SITE DETENTION.** With the application for the Final Map and Improvement Plans, the applicant shall provide a Lot Drainage Plan shall be submitted demonstrating that surface runoff is retained on the site. Plans shall include supporting calculations for storm water detention on the site for the additional run-off from a ten-year frequency storm of two-hour duration. Plans shall show how the rear and side yards will properly drain to an approved BMP facility, and how the finished grades on the property relate to the existing grades on adjacent property. The Plan shall include pad elevation, finished floor elevation, site high and low points, drainage swales, area drains, and existing grade at adjacent property. The permittee shall provide appropriate measures to discharge the flood waters from any unfinished floor areas. (Public Works Department)

19. **STORMWATER MANAGEMENT-TREATMENT (FOR REGULATED PROJECTS).** With the application for the Final Map and Improvement Plans, the applicant shall submit a storm water management-treatment plan. The plan shall include exhibit(s) showing drainage areas and location of Low Impact Development (LID) treatment measures; project watershed; total project site area and total area of land disturbed; total new and/or replaced impervious area; treatment measures and hydraulic sizing calculations; a listing of source controls and site design measures to be implemented at the site; hydro modification management measures, and supporting calculations. Hydro modification (HM) controls shall be designed using the Bay Area Hydrology Model (BAHM), unless the applicant uses an alternative continuous simulation hydrologic computer model as described in Attachment E of the MRP. (Public Works Department)

20. **CALIFORNIA CONSTRUCTION GENERAL PERMIT (CGP).** For projects disturbing more than one (1) acre of land during construction, the applicant shall obtain coverage under the State's Construction General Permit (CGP) and submit a copy of the Notice of Intent (NOI) and Stormwater Pollution Prevention Plan (SWPPP) to the satisfaction of the City Engineer prior to issuance of building permits or any construction permits. (Public Works Department)

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Homeowners Association (HOA) shall provide for maintenance of all on-site improvements including the private street, drainage system, Creekside Park, and conservation easement including the riparian buffer. (City Attorney)

7. **CHURCH STREET RECONSTRUCTION CONTRIBUTION.** The applicant shall pay the City the cost to reconstruct the Church Street right-of-way along the frontage of the project site from the street centerline westerly to the project property line. (Public Works Department)

8. **ASSESSMENT REAPPORTIONMENTS.** The Applicant shall prepare, or cause to be prepared, any assessment reapportionments necessary for the subdivision, including any Half Moon Bay Fire CFD. The reapportionments shall conform to the lots created by the subdivision such that each lot shall be a separate reapportionment. Prior to approval of the Final Map, the Applicant shall submit any and all completed reapportionment diagrams and legal documents to the City Engineer for review, distribution, and recording. (Public Works Department)

9. **REQUIRED PLAN REVISIONS.** The Final Map submittal shall include the following revision:

a) On parcel A, the on-site drainage detention swale shall be located adjacent to Highway 1 and the private open space for passive recreation shall be located immediately adjacent to Lot 1. Neither the swale nor the open space area shall encroach into the conservation easement for the riparian buffer.

b) Bicycle parking facilities shall be provided within the private open space area.

c) A landscape and irrigation plan shall be submitted for the common areas of the site, including the private street and portions of parcel A located outside of the conservation easement for the riparian corridor. (Community Development and Public Works Departments)

d) The Final Map and Improvement Plans shall designate an access easement of up to 10 feet in width along the western property line to accommodate the future East Side Parallel Trail to the satisfaction of the City Engineer. No additional room is needed for that future improvement. This easement shall not extend into the open space conservation area for the riparian vegetation and its associated 50-foot buffer.

10. **PARK FACILITIES DEVELOPMENT FEE.** This project is subject to Park Facilities Development Fees pursuant to Chapter 18.34 of the Half Moon Bay Municipal Code. Prior to the issuance of the Final Map, the permittee shall pay to the City Park Facilities Fees in conformance with the requirements of Chapter 18.34 of the

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any fencing needed around the drainage swale shall be of an open design, such as low split rail fencing. (Community Development Department)

C. The following Conditions shall be fulfilled prior to submittal of the Final Map:

1. **SIGNED CONDITIONS OF APPROVAL.** The applicant/owner shall submit a signed copy of the conditions of approval to the Community Development Department prior to issuance of a building permit. (Community Development Department)

2. **FINAL MAP CONTENTS.** The Final Map shall be in complete form and accompanied by the traverse closure computations, map checking fee and all other items required by the City Engineer, consistent with Approved Plans. The Final Map shall include a name to be approved by the City Council for any new streets that are not extensions of existing named streets and an irrevocable offer to dedicate all necessary public rights-of-way and easements. The submittal shall include the latest title report guarantee of the property. All record owners of property within the boundaries of this Subdivision shall sign the Final Map prior to its approval for recordation. All City and Agency Approval Signatures shall be provided on the front sheet of the Final Map for each Agency Approval. Specifically, the City Engineer will require the applicant to submit the following details with the final map submittal:

- Geotechnical study report acceptable to the City Engineer verifying suitability of the proposed lots for the proposed use.
- Number and location of lots shown on the approved tentative map may change as warranted by the aforementioned studies.
- A property-owners association must be created if the proposed street and storm drain facilities are not as per the City's standards or are not acceptable for City's maintenance.
- Street width shall be not less than 28 feet if parking is proposed or required on one side and 36 feet if parking is proposed or required on both sides. The driveways shall be located such that maximum numbers of parking spaces are provided on-street. Provide turn around at the street end in compliance with the requirements of the Coastside Fire District.
- Sidewalks fronting all proposed lots.
- Street illumination.
- Public utilities to serve each lot as per the requirements of the utility agency. All utilities shall be installed underground. All utilities shall be sized as per the calculations approved by the utility owners and exceeding the minimum required sizes. The storm drains in the roadway shall be not less than 12 inch in diameter and sanitary sewer mains shall be not less than 6 inch diameter.

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3. **CONSTRUCTION HOURS.** Construction work shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday; 8:00 a.m. to 6:00 p.m. Saturdays; and 10:00 a.m. to 6:00 p.m. Sundays and holidays, except as expressly authorized by the City Engineer in conformance with Section 14.40.020 of the Half Moon Bay Municipal Code. (Public Works Department)

4. **CONSTRUCTION COORDINATOR.** A Construction Coordinator shall be designated for this project and shall be responsible for ensuring compliance with construction hours, site cleanliness, and the anti-nuisance requirements of this permit and shall implement the following:

a. Signage. A weatherproof construction sign shall be posted on the site where it is readable from the sidewalk. The sign shall include the name and phone number of the Construction Coordinator, the permitted hours of construction, and the anticipated duration of project construction.

b. Telephone Contact. The Construction Coordinator phone number shall provide for messages when the Construction Coordinator is not available and during non-work hours. The phone number should be a local call for surrounding residents.

c. Construction Coordinator Log. The Construction Coordinator shall maintain a log of any complaints received. The log shall include the time, date, and nature of the complaint and the disturbance coordinator response. The log shall be maintained on the site available for inspection upon request by City staff. (Public Works Department)

5. **TREE PROTECTION PLAN.** Construction shall conform to the requirements of the Tree Protection Plan prepared by Walter Levinson, consulting arborist. (Community Development Department)

6. **TREE PROTECTION REQUIREMENTS.** The following tree protection measures shall be implemented during construction:

a) Prior to commencement of construction, construction fencing shall be placed around the drip line of all trees proposed for preservation.

b) No grading or other construction shall occur within the drip line of any tree proposed for preservation except in conformance with a Tree Protection Plan approved by the Community Development Director.

c) No vehicle, equipment or materials shall be parked or stored within the drip line of any tree proposed for preservation. (Community Development Department)

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21. **UNDERGROUND UTILITIES/SERVICES.** With the application for Final Map and Improvement Plans, electric, telecommunication, and cable and utility services shall be indicated to be provided through underground service connections only. No overhead utilities are allowed. (Public Works Department)

22. **RELOCATING UTILITIES.** With the application for Final Map and Improvement Plans the applicant shall identify public utilities within legal recorded public utility easements requiring relocation as a result of the construction of future building(s) or improvements under this permit. The applicant shall agree to relocate such utilities at their own the expense. (Public Works Department)

23. **DAMAGE TO STREETS.** All work shall be undertaken in a manner that will prevent damage to public streets and utilities and that will maintain streets free and clear of any construction materials, debris, or mud. With the application for Final Map and Improvement Plans, the applicant shall acknowledge responsibility for restoring any damaged street improvements or utilities to the satisfaction of the City Engineer. Overlay the existing street with 2" thick asphalt concrete if three or more cuts are required. (Public Works Department)

24. **SANITARY SEWER SYSTEM ANALYSIS DESIGN AND MAINTENANCE.** The permittee shall submit for review and obtain City Engineer approval of an analysis of the existing sewer system from the property boundary to the nearest pump station or main trunk line to determine design requirements for the on-site system, which will include a private lift station. Its capacity to handle increased sewer flows from this development. Should any deficiency in this system be found, the permittee shall improve the downstream system or contribute a proportionate share of the cost for improvements as determined by the City. The plans submitted for permits shall incorporate all recommendations from the approved hydrology study and all construction shall comply with its recommendations. Maintenance of the on-site sewer system, including the lift station, is the responsibility of the HOA, which shall be indicated in the CC&Rs. The HOA shall maintain adequate budget for these improvements. (Public Works Department)

25. **FIRE ACCESS ROADS.** With the application for Final Map and Improvement Plans, the application shall demonstrate provision of an asphalt-surface road for ingress and egress of fire apparatus in conformance with Coastside Fire Protection District Ordinance 2013-03 and the California Fire Code, to the satisfaction of the Fire Marshall. Pursuant to the 2013 California Fire Code (CFC) and Appendix D of 2013 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround, and road width shall not be less than 20 feet clear exclusive of any on-street parking

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satisfaction of the Community Development Director. (Community Development Department)

11. **AFFORDABLE HOUSING AGREEMENT.** This project includes a residential subdivision creating 10 or more lots and is subject to the Below Market Rate Housing requirements of Chapter 18.35 of the Half Moon Bay Municipal Code. Prior to the issuance of building permits, the permittee shall execute and record an Affordable Housing Agreement in conformance with Chapter 18.35 of the Half Moon Bay Municipal Code for review and approval by the Half Moon Bay City Council. (Community Development Department)

12. **AGENCY PERMITS.** Any permits required by the Coastal Commission, CalTrans, the California Department of Fish & Game, the US Army Corps of Engineers, or other agency with permitting jurisdiction over the subject property shall be obtained by the Applicant prior to approval of a Final Map. (Public Works Department)

13. **U.S. ARMY CORPS OF ENGINEERS PERMIT.** Applicant shall submit a completed application for compliance of Section 404 of the Clean Water Act (CWA) (33 U.S.C. Section 1344) to U.S. Army Corps of Engineers. (Public Works Department)

14. **ACCESSIBILITY.** The Tentative Map and Improvement Plans shall provide access on the private street and to and within the private open space for passive recreation area in conformance with Chapter 11 of the 2013 California Building Code Chapter 11A and 11B. (Public Works Department)

15. **EVIDENCE OF WATER CONNECTION CAPACITY.** The applicant shall provide evidence of adequate water connection capacity for future development, including for fire flow, with submittal for the Final Map. (Public Works Department)

16. **EVIDENCE OF SEWER CONNECTION CAPACITY.** The applicant shall provide evidence of adequate sewer connection capacity with submittal for the Final Map. (Public Works Department)

17. **STREET FRONTAGE IMPROVEMENTS.** The application for Final Map and Improvement Plans shall include design plans for construction of street improvements in conformance with City Design Standards for approval by the City Engineer. The frontage improvements shall include the following:

a) Construction of curb, gutter, sidewalk, and driveway aprons;  
b) Removal and replacement of broken or uplifted curb, gutter, or sidewalks (concrete color and scoring shall match existing);  
c) Installation of pavement;  
d) Repair/overlay of pavement;  
e) Closure of unused driveway/s;

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These shall be of materials providing adequate strength to withstand anticipated loads.

- Sanitary sewer main serving multiple lots must be offered for the City's maintenance and built as per the city standards per plans approved by the City Engineer. The sewer main must flow by gravity to the City's sewer collection system.
- The property owners, at no cost to City, shall maintain all trees planted along the streets.
- The location of the trash enclosure on each lot shall be reviewed and agreed to by the trash hauler.
- Provide written notices to affected residents, public and others at least two business days in advance of any planned disruption to pedestrian or vehicular traffic, parking and public service facilities. (Public Works Department)

3. **FINAL MAP FORM.** The Final Map shall be submitted along with the required application and fees to the Public Works Department in a form satisfactory to the City Engineer and City Attorney. (Public Works Department/City Attorney)

4. **IMPROVEMENT PLANS.** The Applicant shall submit improvement plans for the on-site and public improvements, including a grading and drainage plan and an erosion/dust control plan that also includes provisions for the wintertization of the site as part of the initial Final Map submission. The plans shall be in complete form and in accordance with the standards established by the California Subdivision Map Act, the City's Municipal Code, and the City Engineer regarding format and design information required. The Improvement plans shall further conform to the City of Half Moon Bay design standards, design details, standard specifications, and conditions of approval. (Public Works Department)

5. **SUBDIVISION IMPROVEMENT AGREEMENT.** If, at the time of approval of the Final Map, any required public improvements have not been completed and accepted by the City, the Applicant shall cause to be prepared and shall, in accordance with the Subdivision Map Act, enter into Subdivision Improvement Agreement satisfactory to the City Council covering all of the conditional items specified herein or as required by law. (Public Works Department)

6. **CONDITIONS, COVENANTS AND RESTRICTIONS (CC&R).** With the submittal for Final Map and Improvement Plans, the applicant shall provide draft CC&Rs for City review. The CC&Rs shall incorporate the mitigation measures and conditions of approval, and shall be consistent with all aspects of this permit and all other City, State, and Federal regulations. The CC&Rs shall establish that the future Creekside

CONDITIONS OF APPROVAL  
CREEKSIDE COURT SUBDIVISION  
320 CHURCH STREET  
SAN MATEO COUNTY CALIFORNIA



Date	Scale	AS SHOWN	No.	Revisions	Date
04/05/2019	AS SHOWN			PLAN CHECK COMMENTS #4	05/04/2022
	Design	D.J.L		REVISIONS	09/02/2022
	Drawn	DJP/NK		REVISIONS	01/09/2023
	Approved	RH		PLAN CHECK - CCMD	04/26/2023
	Job No	20180123		PLAN CHECK REVISIONS	05/16/2023

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any Claims that may be asserted by any person or entity, including the permittee, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents. The permittee's duty to defend the City shall not apply in those instances when the permittee has asserted the Claims, although the permittee shall still have a duty to indemnify, protect and hold harmless the City. (City Attorney).

OWNER'S / APPLICANT'S CERTIFICATION:  
I have read and understand and hereby accept and agree to implement the foregoing conditions of approval of the Tentative Subdivision Map.

OWNER(S) / APPLICANT(S):  
*Project sent to City Council (this process) PC was an recommendation to City Council.*  
*City Council Res. 2019-092 approved 11/7/2019*

(Signature) \_\_\_\_\_ (Date) \_\_\_\_\_

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5. **FIRE CLEARANCE REQUIREMENTS.** The permittee shall comply with all applicable fire and building codes and standards relating to fire and panic safety as identified by the Coastside Fire Protection District during the building permit process. (Fire)

6. **COMPLETION OF DRAINAGE IMPROVEMENTS.** All surface and subsurface storm drainage facilities necessary for the development of this parcel shall be constructed pursuant to the approved Lot Drainage Plan. Run-off from and to adjacent properties must be considered in the proposed plans. All roof drainage shall be collected and conveyed directly to an approved Best Management Practice (BMP) facility. (Public Works Department)

7. **STORM WATER MAINTENANCE AGREEMENT.** This project includes storm water site design, treatment control measures, and/or hydro modification management controls. Prior to issuance of the first Building Permit for construction of any residential unit within the subdivision, the applicant shall enter into and record with the County Recorder's Office a Maintenance Agreement with the City for long-term maintenance and servicing of storm water controls consistent with the approved Maintenance Plan(s) to the satisfaction of the City Engineer. (Public Works Department)

8. **SEWER CONNECTION FEE.** The proposed development is subject to a sewer connection fee pursuant to Section 13.36.070 of the Half Moon Bay Municipal Code. The fee shall be paid to the City prior to issuance of building permits. (Public Works Department)

9. **TRAFFIC MITIGATION FEE.** The proposed development is subject to a traffic mitigation fee pursuant to 14.35 of the Half Moon Bay Municipal Code. Prior to issuance of building permits, the permittee shall pay to the City a traffic mitigation fee in conformance with Municipal Code Chapter 14.35. (Community Development Department)

10. **ADDITIONAL CONDITIONS OF APPROVAL FOR RESIDENTIAL CONSTRUCTION.** Additional conditions of approval will be applied to all future Building Permits for construction of the residential dwelling units within the subdivision. All development is subject to the California Building Code, Fire Code and City requirements. (Community Development Department)

G. **Validity and Expiration of Permits**

1. **EFFECTIVE DATE.** This site is located within the Coastal Appeal Zone. This permit shall take effect after expiration of the Coastal Commission appeal period, or if the permit is appealed to the Coastal Commission during the appeal period, it shall

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18. **AIR QUALITY BEST MANAGEMENT PRACTICES.** The project shall implement the following standard BAAQMD dust control measures during all phases of construction on the project site:

- All active construction areas shall be watered twice daily or more often if necessary. Increased watering frequency shall be required whenever wind speeds exceed 15 miles-per-hour.
- Pave, apply water three times daily, or apply non-toxic soil stabilizers on all unpaved access roads and parking and staging areas at construction sites.
- Cover stockpiles of debris, soil, sand, and any other materials that can be windblown. Trucks transporting these materials shall be covered.
- All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day or as often as necessary to keep them free of dust and debris associated with site construction. The use of dry power sweeping is prohibited.
- Subsequent to clearing, grading, or excavating, exposed portions of the site shall be watered, landscaped, treated with soil stabilizers, or covered as soon as possible. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas and previously graded areas inactive for 10 days or more.
- Installation of sandbags or other erosion control measures to prevent silt runoff to public roadways.
- Replanting of vegetation in disturbed areas as soon as possible after completion of construction.
- Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes. Clear signage shall be provided for construction workers at all access points.
- All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- Post a publicly visible sign with the telephone number and person to contact at the City of Half Moon Bay regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations. (Public Works Department)

19. **ADDITIONAL CONDITIONS OF APPROVAL FOR GRADING PERMIT.** Additional conditions of approval will be applied to any future Grading Permit at the discretion of the City Engineer. (Community Development Department)

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7. **ARCHAEOLOGY.** Pursuant to Section 7050.5 of the Health and Safety Code, and Section 5097.94 of the Public Resources Code of the State of California, in the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the California Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American(s). If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the permittee shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance. (Community Development Department)

8. **LOT GRADING, MATERIALS, EQUIPMENT AND VEHICLE STORAGE.** No lot site grading, preparation, storage, or placement of construction materials, equipment, or vehicles shall take place prior to issuance of a building permit. Any earth movement on or off the site in excess of 50 cubic yards shall require the submittal of a grading plan for review by the City Engineer and issuance of a grading permit. On site reuse of topsoil shall be a priority and demonstrated in plans and through City inspection of grading activities. Lot Grading includes, but is not limited to, any leveling, scraping, clearing, or removal of lot surface area. Materials, Equipment, and Vehicles include, but are not limited to:

- All masonry, wood, and steel construction materials;
- All construction-related equipment and storage containers; and
- All construction-related vehicles, including temporary trailers. (Public Works Department)

9. **ENCROACHMENT PERMIT.** No construction activity shall occur and no pedestrian and vehicular traffic control shall be installed with the City right-of-way or affecting the City's improvements prior to obtaining an encroachment permit from the City. All improvements constructed within the City right-of-way shall conform to City standards to the satisfaction of the City Engineer. Traffic control shall conform to Caltrans/MUTCD Standard Plans for Traffic Control in Construction and Maintenance Zones. Street cuts for utility connections that are less than twenty (20) feet apart shall be repaired with a single patch. Asphalt repair and overlay shall be in accordance with the City Standard Details. (Public Works Department)

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take effect after final Coastal Commission action. (Community Development Department)

2. **ACCURACY OF APPLICATION MATERIALS.** The permittee shall be responsible for the completeness and accuracy of all forms and material submitted for this application. Any errors or discrepancies found therein may be grounds for the revocation or modification of this permit and/or any other City approvals. (Community Development Department)

3. **PERMIT EXPIRATION.** The Tentative Subdivision Map, Coastal Development Permit, and Use Permit shall expire two (2) years from the date of final approval if a Final Map has not been recorded, except as otherwise specified by Title 17 of the Municipal Code and the Subdivision Map Act, Section 66452.6. if off-site improvements for this project exceed \$125,000 in value, the Tentative Subdivision Map, Coastal Development Permit, and Use Permit shall expire three (3) years from the date of final approval. (Community Development Department)

4. **PERMIT EXTENSION.** The Tentative Subdivision Map, Coastal Development Permit, and Use Permit may be extended by the City Council in accordance with Title 17 of the Municipal Code and the Subdivision Map Act, Section 66452.6. (Community Development Department)

5. **PERMIT RUNS WITH THE LAND.** The approval runs with the land and the rights and obligations thereunder, including the responsibility to comply with conditions of approval, shall be binding upon successors in interest in the real property unless or until such permits are expressly abandoned or revoked. (Community Development Department)

6. **HOLD HARMLESS.** The permittee agrees as a condition of approval of this application to indemnify, protect, defend with counsel selected by the City, and hold harmless, the City, and any agency or instrumentality thereof, and its elected and appointed officials, officers, employees and agents, from and against an and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorney's fees and disbursements (collectively, "Claims") arising out of or in any way relating to the approval of this application, any actions taken by the City related to this entitlement, any review by the California Coastal Commission conducted under the California Coastal Act Public Resources Code Section 30000 et seq., or any environmental review conducted under the California Environmental Quality Act, Public Resources Code Section 210000 et seq., for this entitlement and related actions. The indemnification shall include

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E. **The following conditions shall be addressed in Coastal Development Permits for future development of the subdivided lots:**

- SECURING OF MEASURE D CERTIFICATE.** The applicant shall secure Measure D Certificates for each proposed dwelling unit prior to submittal for Coastal Development Permit(s). (Community Development Department)
- ADDITIONAL CONDITIONS OF APPROVAL FOR COASTAL DEVELOPMENT PERMIT.** Additional conditions of approval will be applied to all future Coastal Development Permits for development of the residential lots within the subdivision. All proposed residential development is subject to the City's Residential Design Guidelines, the Zoning Ordinance, and Engineering Standards. (Community Development Department)

F. **The following conditions shall be implemented for the Building Permit:**

- VALID MEASURE D CERTIFICATE.** No building permit shall be issued unless the Measure D Certificate issued for the property has not expired and remains valid to the satisfaction of the Community Development Director. (Community Development Department)
- LOT RETIREMENTS.** As part of this application and project description, the applicant has purchased ten (10) legal lots within the San Mateo County Midcoast area pursuant to requirements of the 2014 Coastal Development Permit issued by the Coastal Commission. Prior to issuance of the first Building Permit for any residential dwelling unit in the Creekside subdivision, the applicant shall demonstrate either that the ten (10) lots purchased have been deed restricted to extinguish their development rights in perpetuity; or that the lots have been conveyed to an open space trust or other appropriate land management entity as determined by the City of Half Moon Bay.
- FIRST FLOOR HEIGHT VERIFICATION.** Prior to below floor framing or concrete slab steel reinforcement inspection, a stamped and signed building height verification letter shall be submitted to the City from a licensed land survey certifying that the first-floor height as constructed is at an elevation of at least 60 feet. (Public Works Department)
- STRUCTURAL ROOF HEIGHT VERIFICATION.** Prior to roof sheathing inspection, a stamped and signed building height verification letter shall be submitted to the City from a licensed land surveyor certifying that the highest top elevation of the roof, peak, or ridge first floor height as constructed is equal to (or less than) the elevation specified in the approved plans. (Community Development Department)

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10. **EROSION AND SEDIMENT CONTROL.** Prior to the issuance of building permits, an erosion and sediment control plan shall be submitted that shows effective Best Management Practices (BMP) and erosion and sediment control measures for the site. Construction plans shall also include the "construction best management practices" plan sheet. (Public Works Department)

11. **CONSTRUCTION MATERIAL STORAGE.** Construction material shall not be stored in the street right-of-way without prior approval from the City Engineer. (Public Works Department)

12. **CONSTRUCTION TRAILERS.** Temporary construction trailers are permitted as accessory uses in conjunction with the development of this site, subject to the following conditions:

- The construction trailer shall be used as a temporary construction office only.
- Neither sanitation facilities nor plumbed water is permitted within the trailer.
- No overnight habitation of the construction trailer is permitted.
- No construction trailers are permitted on site prior to building permit issuance.
- The construction trailer shall be removed prior to issuance of a certificate of occupancy. (Community Development Department)

13. **STREET SWEEPING.** The streets in the vicinity of the project shall be swept daily or as necessary to keep them free of dust and debris associated with site construction. (Public Works Department)

14. **FIRE ACCESS ROADS.** Fire access roads shall be installed prior to storage of combustibles on the project site to the satisfaction of the Fire Marshall. (Fire)

15. **HAZARDOUS MATERIALS.** Any materials deemed hazardous by the San Mateo County Department of Health that are uncovered or discovered during the course of work under this permit shall be disposed in accordance with regulations of the San Mateo County of Health. (Community Development Department)

16. **COMPLETION OF UTILITIES.** Any public utilities requiring relocation as a result of the construction of improvements or future structures under this permit shall be relocated at the owner's expense. (Public Works Department)

17. **NOTICE OF DISRUPTION.** The permittee shall provide written notice to affected property and business owners and a copy of such notice to the City Engineer a minimum of two business days prior to any planned disruption of pedestrian or vehicular traffic, parking, or public service facilities. (Community Development Department)

# EXHIBIT D

## Easements

**Recording Requested by:**  
Coastside County Water District

**And When Recorded Mail To:**  
Coastside County Water District  
766 Main Street  
Half Moon Bay, CA 94019

SPACE ABOVE THIS LINE FOR RECORDER'S USE  
This document is exempt from Recording Fees  
(Gov't Code Section 27383)

**GRANT OF EASEMENT (NON-EXCLUSIVE)**

For a valuable consideration, receipt of which is hereby acknowledged, **HMB Coast LLC** ("Grantor"), hereby grants to COASTSIDE COUNTY WATER DISTRICT, a public corporation of the State of California ("District") and its assigns and successors in interest, a perpetual non-easement for the purpose of constructing, repairing, maintaining, replacing, renewing and using a pipeline and appurtenant facilities for the transmission and distribution of water, and for all connected and associated purposes, together with the right of ingress and egress over said easement for the aforesaid purposes, over, under and across the real property situated in the County of San Mateo, State of California, which is described in Exhibit A attached hereto and incorporated herein by this reference and depicted on Exhibit B attached hereto and incorporated herein by this reference.

This easement is non-exclusive. However, Grantor will not grant any other party rights to use the area within the easement for any purpose, which would unreasonably burden or interfere with District's use or enjoyment of its easement rights. In addition, Grantor will not grant any other party rights to install (1) non-potable or potable water pipelines including but not limited to sewer lines, irrigation lines or well water lines within 10 feet horizontally or crossing vertically above the District's water pipelines, or (2) other underground facilities including but not limited to gas pipelines, or electrical, telephone, and cable TV conduit or cable, within 4 feet horizontally or crossing vertically within 2 feet over or under the District's water pipelines, or such within greater distance as may be required by subsequently enacted laws or regulations of any federal, state or local governmental authority with jurisdiction. Nor will Grantor make any use of the surface of the property within the easement which would unreasonably interfere with District' easement rights, including, but not limited to, construction of any fixed structure.

(Signatures on next page)



IN WITNESS WHEREOF, the Grantor has executed this conveyance this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**HMB Coast LLC,**  
A California Limited Liability Company

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

(Attach Notary Acknowledgement)

## **EXHIBIT A**

### **Description of Easement**

**NOTE:** The easement description shall be prepared by a land surveyor or civil engineer licensed in the State of California and shall include the seal and signature of the preparer. The description shall include a deed or map reference, a metes and bounds description of the easement indicating all distances and bearings, and the easement width (20 foot width required).

## **EXHIBIT B**

### **Map of Easement**

**NOTE:** The easement map shall be prepared by the preparer of the easement description. It shall be drawn to scale and shall be 8-1/2" x 11" in size if feasible. The easement map shall include the following: (1) plan of complete land parcel indicating all distances and bearings, (2) designation of water easement entitled, "coastside county Water District water easement", including easement width and all distances and bearings, (3) designation of all other easements on the land parcel, (4) point of beginning of water easement description, (5) all other reference points utilized in the easement description, (6) north arrow and map scale, and (7) name and license number of preparer.

## STAFF REPORT

**To:** Coastside County Water District Board of Directors

**From:** Mary Rogren, General Manager

**Agenda:** July 11, 2023

**Report Date:** July 7, 2023

**Agenda Title:** Fiscal 2022-2023 Year-End Financial Results - Preliminary

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### **Recommendation/Motion:**

Information Only.

### **Background:**

The attached Period Budget Analysis summarizes preliminary results for the Fiscal Year ending June 30, 2023. The results include preliminary estimates of year-end expense accruals but exclude depreciation, year-end audit and other adjustments to be finalized by December 2023.

Key highlights include:

- Year-to-date operating revenue is \$1,796,000 or 13.7% below budget due to an 83 million gallon reduction in water usage by the District's customers during the drought.
- Year to date non-operating revenue is \$523,000 or 30% above budget, including:
  - \$172,000 higher county tax receipts
  - \$121,000 higher Excess ERAF Refund
  - \$190,000 higher interest income
  - \$40,000 higher late penalties and other income.
- The resulting Net Revenue is \$1,272,000 below budget.
- Year-to-date operating expenses are \$1,344,000 or 13.2% below budget.  
Key costs savings include:
  - \$601,000 savings in SFPUC water purchases due to lower water usage and greater use of local sources (including wells).
  - \$245,000 savings in PG&E expenses primarily due to limited operation of Crystal Springs Pump Station and increased use of gravity fed sources including Pilarcitos Reservoir.

**STAFF REPORT**

**Agenda: July 11, 2023**

**Subject: FY 2022-2023 Preliminary Financial Review**

**Page Two**

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- \$350,000 savings in salaries & benefits due to open positions.
- \$ 89,000 savings in water shortage programs and community outreach
- \$ 48,000 savings in office expenses primarily due to lower billing fulfillment and credit card processing fees (due to contractual change in fee structure)
- \$ 24,000 savings in legal expenses
- \$ 20,000 savings in election expenses

These cost savings were offset by:

- (\$33,000) - reflecting higher maintenance costs of (\$95,000) primarily due to emergency related costs related to the winter storms offset by \$41,000 lower well field maintenance costs and \$21,000 lower Nunes Water Treatment Plant maintenance costs.
- *The net impact of lower revenue vs. expense savings was a positive variance of \$72,000.*
  - *Contributions to the Capital Improvement Program and Reserves are \$3,180,000 versus a plan of \$3,108,000.*

Cash Reserves

The current cash balance as of June 30, 2023 is \$13,617,000.

Capital Improvement Plan (CIP):

CIP Spend totaled \$6,088,000 against an approved plan of \$8,205,000. Major projects included:

- \$2,715,000 - Nunes Water Treatment Improvement Project (in process, scheduled to be completed in Spring, 2024)
- \$1,669,000 - Grandview Pipeline Replacement Project (completed in Fall, 2022)
- \$393,000 - Pipeline Replacement Under Pilarcitos Creek at Pilarcitos Avenue and Strawflower Village (completed in Fall, 2022)

Shortfalls in CIP spending during the fiscal year were primarily due to delays in the Nunes Water Treatment Improvement Project due to supply chain issues and moving out pipeline projects and Denniston well field replacements to future years.

**COASTSIDE COUNTY WATER DISTRICT - PERIOD BUDGET ANALYSIS**

**Preliminary**

**For Fiscal Year Ending 6/30/2023**

<b>ACCOUNT</b>	<b>DESCRIPTION</b>	<b>YTD BUDGET</b>	<b>YTD ACTUAL</b>	<b>Variance Favorable (Unfavorable)</b>	<b>% Variance</b>
<b>OPERATING REVENUE</b>					
1-0-4120-00	Water Revenue -All Areas	13,102,800.00	11,293,525.93	(1,809,274.07)	-13.81%
1-0-4170-00	Water Taken From Hydrants	48,000.00	61,502.60	13,502.60	28.13%
<b>TOTAL OPERATING REVENUE</b>		<b>13,150,800.00</b>	<b>11,355,028.53</b>	<b>(1,795,771.47)</b>	<b>-13.66%</b>
<b>NON-OPERATING REVENUE</b>					
1-0-4180-00	Late Notice -10% Penalty	50,000.00	91,682.55	41,682.55	83.37%
1-0-4230-00	Service Connections	10,000.00	12,519.12	2,519.12	25.19%
1-0-4920-00	Interest Earned	32,000.00	221,955.67	189,955.67	593.61%
1-0-4930-00	Tax Apportionments/Cnty Checks	950,000.00	1,121,533.49	171,533.49	18.06%
1-0-4950-00	Miscellaneous Income	10,000.00	373.81	(9,626.19)	-96.26%
1-0-4955-00	Cell Site Lease Income	192,000.00	198,139.92	6,139.92	3.20%
1-0-4965-00	ERAF REFUND -County Taxes	500,000.00	621,167.13	121,167.13	24.23%
<b>TOTAL NON-OPERATING REVENUE</b>		<b>1,744,000.00</b>	<b>2,267,371.69</b>	<b>523,371.69</b>	<b>30.01%</b>
<b>TOTAL REVENUES</b>		<b>14,894,800.00</b>	<b>13,622,400.22</b>	<b>(1,272,399.78)</b>	<b>-8.54%</b>
<b>OPERATING EXPENSES</b>					
1-1-5130-00	Water Purchased	2,467,503.00	1,866,992.76	600,510.24	24.34%
1-1-5230-00	Pump Exp, Nunes T P	48,000.00	51,576.88	(3,576.88)	-7.45%
1-1-5231-00	Pump Exp, CSP Pump Station	366,000.00	115,306.92	250,693.08	68.50%
1-1-5232-00	Pump Exp, Trans. & Dist.	25,000.00	23,733.82	1,266.18	5.06%
1-1-5233-00	Pump Exp, Pilarcitos Canyon	64,000.00	57,382.31	6,617.69	10.34%
1-1-5234-00	Pump Exp. Denniston	77,000.00	86,847.12	(9,847.12)	-12.79%
1-1-5242-00	CSP Pump Station Operations	12,000.00	12,907.49	(907.49)	-7.56%
1-1-5243-00	CSP Pump Station Maintenance	35,000.00	25,969.64	9,030.36	25.80%
1-1-5246-00	Nunes T P Operations	97,000.00	94,460.56	2,539.44	2.62%
1-1-5247-00	Nunes T P Maintenance	119,000.00	99,775.77	19,224.23	16.15%
1-1-5248-00	Denniston T.P. Operations	64,000.00	68,519.02	(4,519.02)	-7.06%
1-1-5249-00	Denniston T.P. Maintenance	140,000.00	168,146.38	(28,146.38)	-20.10%
1-1-5250-00	Laboratory Services	77,000.00	58,111.02	18,888.98	24.53%
1-1-5260-00	Maintenance -General	380,000.00	474,875.08	(94,875.08)	-24.97%
1-1-5261-00	Maintenance -Well Fields	50,000.00	9,000.00	41,000.00	82.00%
1-1-5263-00	Uniforms	12,000.00	11,734.92	265.08	2.21%

ACCOUNT	DESCRIPTION	Variance			
		YTD BUDGET	YTD ACTUAL	Favorable (Unfavorable)	% Variance
1-1-5318-00	Studies/Surveys/Consulting	157,000.00	160,871.46	(3,871.46)	-2.47%
1-1-5321-00	Water Resources	26,700.00	9,947.41	16,752.59	62.74%
1-1-5322-00	Community Outreach	68,000.00	41,428.76	26,571.24	39.08%
1-1-5325-00	Water Shortage Program	50,000.00	3,829.00	46,171.00	92.34%
1-1-5381-00	Legal	110,000.00	86,199.55	23,800.45	21.64%
1-1-5382-00	Engineering	76,000.00	90,912.74	(14,912.74)	-19.62%
1-1-5383-00	Financial Services	23,000.00	18,010.00	4,990.00	21.70%
1-1-5384-00	Computer Services	309,025.00	307,751.50	1,273.50	0.41%
1-1-5410-00	Salaries/Wages-Administration	1,267,717.00	1,056,876.00	210,841.00	16.63%
1-1-5411-00	Salaries & Wages -Field	1,764,505.00	1,717,581.90	46,923.10	2.66%
1-1-5420-00	Payroll Tax Expense	224,338.00	196,302.39	28,035.61	12.50%
1-1-5435-00	Employee Medical Insurance	505,000.00	463,060.44	41,939.56	8.30%
1-1-5436-00	Retiree Medical Insurance	52,000.00	45,474.81	6,525.19	12.55%
1-1-5440-00	Employees Retirement Plan	600,506.00	584,055.27	16,450.73	2.74%
1-1-5445-00	Supplemental Retirement 401a	36,000.00	36,532.00	(532.00)	-1.48%
1-1-5510-00	Motor Vehicle Expense	80,000.00	80,593.84	(593.84)	-0.74%
1-1-5620-00	Office Supplies & Expense	412,500.00	364,948.69	47,551.31	11.53%
1-1-5625-00	Meetings / Training / Seminars	41,000.00	41,806.55	(806.55)	-1.97%
1-1-5630-00	Insurance	161,000.00	157,330.50	3,669.50	2.28%
1-1-5687-00	Membership, Dues, Subscript.	99,975.00	103,648.00	(3,673.00)	-3.67%
1-1-5688-00	Election Expenses	20,000.00	0.00	20,000.00	100.00%
1-1-5689-00	Labor Relations	6,000.00	0.00	6,000.00	100.00%
1-1-5700-00	San Mateo County Fees	31,400.00	18,286.34	13,113.66	41.76%
1-1-5705-00	State Fees	42,000.00	42,877.71	(877.71)	-2.09%
<b>TOTAL OPERATING EXPENSES</b>		<b>10,197,169.00</b>	<b>8,853,664.55</b>	<b>1,343,504.45</b>	<b>13.18%</b>
<b>CAPITAL ACCOUNTS</b>					
1-1-5715-00	Debt Svc/CIEDB 11-099 (I-BANK)	335,508.00	335,507.92	0.08	0.00%
1-1-5716-00	Debt Svc/CIEDB 2016 (I-BANK)	322,417.00	322,417.29	(0.29)	0.00%
1-1-5717-00	Chase Bank - 2018 Loan	436,027.00	435,719.08	307.92	0.07%
1-1-5718-00	First Foundation Bank - 2022	495,510.00	495,510.38	(0.38)	0.00%
<b>TOTAL CAPITAL ACCOUNTS</b>		<b>1,589,462.00</b>	<b>1,589,154.67</b>	<b>307.33</b>	<b>0.02%</b>
<b>TOTAL EXPENSES</b>		<b>11,786,631.00</b>	<b>10,442,819.22</b>	<b>1,343,811.78</b>	<b>11.40%</b>
<b>CONTRIBUTION TO CIP/RESERVES</b>		<b>3,108,169.00</b>	<b>3,179,581.00</b>	<b>71,412.00</b>	

## **STAFF REPORT**

**To:** Coastside County Water District Board of Directors

**From:** Mary Rogren, General Manager

**Agenda:** July 11, 2023

### **Report**

**Date:** July 7, 2023

**Agenda Title:** Consider Approval of Resolution 2023-07 Establishing Appropriations Limit Applicable to District During Fiscal Year 2023/2024

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### **Recommendation/Motion:**

**Approve Resolution 2023-07 establishing appropriations limit applicable to District during Fiscal Year 2023/2024.**

### **Background:**

Article XIII B of the California Constitution, and its implementing legislation, requires each local agency to review the "appropriations limit" applicable to it annually. The "appropriations limit" is the maximum amount of "proceeds of taxes" which the District can appropriate during the fiscal year. Last year, the Board of Directors adopted the appropriations limit applicable during FY 2022/2023. The District has obtained data from the State Department of Finance concerning inflation and population changes from which the limit for the upcoming fiscal year has been calculated. The calculations are shown on the following page.

### **Fiscal Impact:**

Because the appropriations limit is far in excess of the amount of "proceeds of taxes" available to the District, the increase will not have any effect upon the District's budget this year or in the foreseeable future.



**RESOLUTION NO. 2023-07**

**A RESOLUTION OF THE BOARD OF DIRECTORS  
OF THE COASTSIDE COUNTY WATER DISTRICT  
ESTABLISHING THE APPROPRIATIONS LIMIT  
APPLICABLE TO THE DISTRICT DURING FISCAL YEAR 2023-2024**

WHEREAS, by Resolution No. 2022-09, the Board of Directors established the appropriations limit applicable to the District during Fiscal Year 2022-2023 as \$7,521,867; and

WHEREAS, Article XIII B of the California Constitution and Sections 7902(b) and 7910 of the Government Code require that each local agency subject thereto establish by resolution the appropriations limit applicable during Fiscal Year 2023-2024 by applying to the limit for Fiscal Year 2022-2023 the factors, as issued by the California Department of Finance, reflecting changes in population and per capita personal income; and

WHEREAS, the calculations showing the application of those factors were made available for public review at least fifteen days prior to the date hereof; and

WHEREAS, the applicable factors are as follows: (1) the change in the California per capita personal income was 4.44%, and (2) the applicable change in population from January 1, 2022 to January 1, 2023 was -0.43%.

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of the Coastside County Water District that the appropriations limit for Fiscal Year 2023-2024 is hereby established as \$7,822,057.

PASSED AND ADOPTED this 11th day of July 2023, by the following vote of the Board:

AYES:

NOES:

ABSENT:

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John Muller, President  
Board of Directors

ATTEST:

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Mary Rogren, General Manager  
Secretary of the District

## **COASTSIDE COUNTY WATER DISTRICT**

### **NOTICE OF DETERMINATION OF APPROPRIATIONS LIMIT FOR FISCAL YEAR 2023-2024**

State law (Section 7910 of the Government Code) requires each local government agency to determine during each fiscal year the appropriations limit pursuant to Article XIII B of the California Constitution applicable during the following fiscal year. The limit must be adopted at a regularly scheduled meeting or a noticed special meeting and the documentation used in determining the limit must be made available for public review fifteen days prior to such meeting.

Set out below is the methodology proposed to be used to calculate the Fiscal Year 2023-2024 appropriations limit for the District. The limit as set forth below will be considered and adopted at the meeting of the Board of Directors on July 11, 2023.

1. Appropriations limit for Fiscal Year 2022-2023	\$7,521,867
2. Population change (January 1, 2022-January 1, 2023)	-0.43%
3. Change in California per capita personal income Fiscal Year 2022-2023	4.44%
4. Fiscal Year 2023-2024 adjustment factor (1.0444 x 0.9957)	1.039909
5. Fiscal Year 2023-2024 appropriations limit (\$7,521,867 x 1.039909)	\$7,822,057

Dated: June 14, 2023

## **STAFF REPORT**

**To:** Coastside County Water District Board of Directors

**From:** Mary Rogren, General Manager

**Agenda:** July 11, 2023

### **Report**

**Date:** July 5, 2023

**Agenda/Title:** Approval of Change Order #1 for Nunes Water Treatment Plant Upgrades Project

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### **Recommendation/Motion:**

**Approve Change Order #1 with Ranger Construction for a no-cost time extension as part of the Nunes Water Treatment Plant Upgrades Project.**

### **Background:**

The contract for the Nunes Water Treatment Plant Upgrades Project was awarded to Ranger Construction back in 2021. The official start date of the project was 8/16/2021. The original contract duration was 720 days. To date there are 54 days remaining.

Due to extended supply-chain issues with the filter valves, slide gate and a VFD, Ranger has requested a no-cost extension of 321 calendar days--from a total of 720 calendar days to 1041 calendar days. Because Ranger had to suspend work for ~4 months last fall and has waited almost two years for critical parts to arrive, staff has determined that this request is reasonable and expected.

Ranger has made good progress on this project with the materials they were able to procure and are nearly complete on the overhaul of Filter #4.

Staff recommends approval of this no-cost extension of time change order. See Attachment A. Approval of this change order will move the new contract end date to June 21, 2024. Staff has confirmed this time will be adequate to finish the project and does not foresee any future contract end date extensions.

### **Fiscal Impact:**

Change Order 1 is for a time extension only and has no fiscal impact.

# Contract Change Order (CCO) No.1

Date of Issuance: June 29, 2023

Project: <u>Nunes Water Treatment Plant Upgrades</u>	Owner: <u>Coastside County Water District (CCWD)</u>	Owner's Contract No.: <u>CIP Number 2014</u>
Contractor: <u>Ranger Pipelines, Inc.</u>		Date of Contract: <u>May 28, 2021</u>


**The Contract Documents are modified as follows upon execution of this Change Order:**

Increase of Contract Duration per information below and attached. This is a time extension only change order. There is no change in Contract Price associated with the Change Order.

**Attachments (list documents supporting change):**

- PCO#41 Time Extension due to unforeseen material procurement issues.
- Schedule Update 5 (5/31/2023)
- Nunes WTP Upgrades Letter #1 with supporting documentation from Mueller, Rockwell Automation, Gierlich-Mitchell, and Eaton.

<u>CHANGE IN CONTRACT PRICE:</u>	<u>CHANGE IN CONTRACT DURATION:</u>
Original Contract Price:	Original Contract Time: Working days      Calendar Days
\$ <u>8,339,915.00</u>	Notice to Proceed Date: <u>August 16, 2021</u>
	Contract Duration: <u>720 Calendar Days</u>
Increase of this Change Order:	Increase of this Change Order:
\$ <u>0.00</u>	<u>321 Calendar Days</u>
Contract Price incorporating this Change Order:	Contract Duration incorporating this Change Order:
\$ <u>8,339,915.00</u>	<u>1,041 Calendar Days</u>

<u>RECOMMENDED:</u>	<u>ACCEPTED:</u>	<u>ACCEPTED:</u>
By: 	By: _____	By: _____
Josh Kimbrell, P.E., QSD/P, LEED Green Associate Construction Manager/Vice President Freyer & Laureta, Inc.	Stephen McLaughlin Project Manager Ranger Pipelines, Inc.	Mary Rogren General Manager Coastside County Water District

**The Parties agree that the written acceptance of this change order by the Contractor constitutes a compromise and release of any claim or claims reflected in this change order. Payment of this change order and/or grant of a time extension in this change order represents full satisfaction for all costs and or delay, if any, arising out of the modification of the Contract Documents included herein.**

June 13, 2023

Mary Rogren  
General Manager  
Coastside County Water District  
766 Main Street  
Half Moon Bay, CA 94019  
mrogren@coastsidewater.org

**RE: Nunes Water Treatment Plant Upgrades  
Ranger Pipelines, Inc.  
Contract Change Order #1 – Time Extension (No Cost)**

Dear Mary,

Herein please find Contract Change Order (CCO) #1 package for Ranger Pipeline, Inc.’s construction contract for the Nunes Water Treatment Plant Upgrades project. We have reviewed the attached change order package and recommended that CCWD proceed with execution of contract amendment for the time extension listed below. Please note that this is a time extension only change order. There is no cost increase associated with the change order.

**Contract Change Order Amount**

The following CCO is recommended for CCWD’s execution of contract amendment for Ranger Pipeline, Inc.

Base Contract Duration	720 Calendar Days
Change Order Days Added	321 Calendar Days
<b>Updated Contract Duration</b>	<b>1,041 Calendar Days</b>
<b>Updated Contract Completion Date</b>	<b>June 21, 2024</b>

Very truly yours,

**FREYER & LAURETA, INC.**



**Joshua R. Kimbrell, P.E., QSD/P, LEED Green Associate  
Construction Manager/Vice President**

**Headquarters**

150 Executive Park Blvd, Ste 4200  
San Francisco, CA 94134  
(415) 534-7070

**North Bay Office**

505 San Marin Dr, Ste A220  
Novato, CA 94945  
(415) 534-7070

**East Bay Office**

825 Washington Street, Ste 237  
Oakland, CA 94607  
(510) 937-2310

**South Bay Office**

20863 Stevens Creek Blvd, Ste 400  
Cupertino, CA 95014  
(408) 516-1090

Ranger Pipelines, Inc.  
P.O. Box 24109  
San Francisco, CA 94124

Date: June 1st, 2023

Client: Coastside County Water District  
766 Main St, Half Moon Bay, CA 94019

Attn: Josh Kimbrell (Freyer & Laureta) - Project Construction Manager

Project Title: Nunes WTP Upgrades

PCO 41

**Description of PCO #41: Time Extension due to unforeseen material procurement issues.**

Due to various supply chain issues related to the impacts of COVID as described in the various letters throughout the duration of the project we are requesting a time extension to the contract. Attached are various letter which have been submitted throughout the job.

The initial final completion date is 8/6/23 however due to the delays we are requesting an extension of 321 calendar days to bring the final completion date to 6/21/24. This final completion date includes 44 days float as discussed at recent progress meetings.

The following schedule outlines the intended working durations with float time included due to further unforeseen delays or adverse weather.

Total additional cost for changes for PCO #41 – No Cost.

Feel free to contact me with any questions you may have.



Stephen McLaughlin – Project Manager

**RANGER PIPELINES, INC.  
CCWD -NUNES WTP UPGRADES  
SCHEDULE UPDATE 5 (DD 5/31/23)**

ID	TASK ID (T1)	Task Name	Dur	Start	Finish	Gantt Chart																																															
						2022												2023												2024																							
						Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug							
0		<b>CCWD -NUNES WTP UPGRADES</b>	<b>750d</b>	<b>6/28/21</b>	<b>6/21/24</b>	6/28 ————— 6/21																																															
1		<b>MILESTONES</b>	<b>750d</b>	<b>6/28/21</b>	<b>6/21/24</b>	6/28 ————— 6/21																																															
2	MS-0-1010	START	0d	6/28/21	6/28/21	◆ 6/28																																															
3	MS-0-1020	NOTICE TO PROCEED (8/16/21)	0d	8/16/21	8/16/21	◆ 8/16																																															
4	MS-0-1030	MS-1 AREAS 00 & 01 COMPLETION	0d	3/22/24	3/22/24	◆ 3/22																																															
5	MS-0-1040	MS-2 AREA 02 COMPLETION	0d	6/23/23	6/23/23	◆ 6/23																																															
6	MS-0-1050	SUBSTANTIAL COMPLETION	0d	4/22/24	4/22/24	◆ 4/22																																															
7	MS-0-1060	FINAL COMPLETION (6/30/24)	0d	6/21/24	6/21/24	◆ 6/21																																															
8		<b>PRECONSTRUCTION</b>	<b>102d</b>	<b>6/28/21</b>	<b>11/19/21</b>	6/28 ————— 11/19																																															
9		<b>PRIORITY SMTLS PREP</b>	<b>50d</b>	<b>6/28/21</b>	<b>9/7/21</b>	6/28 ————— 9/7																																															
60		<b>PRIORITY SMTLS REVIEW &amp; APPVL</b>	<b>72d</b>	<b>8/10/21</b>	<b>11/19/21</b>	8/10 ————— 11/19																																															
112		<b>LONG LEAD MATERIAL FAB &amp; DELIVERY</b>	<b>430d</b>	<b>8/23/21</b>	<b>5/17/23</b>	8/23 ————— 5/17																																															
113	LL-1010	VALVES & ACCS	402d	8/23/21	4/7/23	8/23 ————— 4/7																																															
114	LL-1030	PLATE SETTLER EQPT	155d	8/23/21	4/15/22	8/23 ————— 4/15																																															
115	LL-1040	SLUDGE COLLECTOR EQPT	148d	8/23/21	4/6/22	8/23 ————— 4/6																																															
116	LL-1050	FILTER UNDERDRAINS	140d	8/23/21	3/25/22	8/23 ————— 3/25																																															
117	LL-1060	FILTER MEDIA -HOLD UNTIL ALMOST READY TO INSTALL	416d	8/23/21	4/27/23	8/23 ————— 4/27																																															
118	LL-1070	AIR SCOUR SYSTEM	177d	8/23/21	5/17/22	8/23 ————— 5/17																																															
119	LL-1080	METAL FABRICATIONS	120d	8/23/21	2/25/22	8/23 ————— 2/25																																															
120	LL-1090	CHEMICAL FEED SYSTEM	175d	8/23/21	5/13/22	8/23 ————— 5/13																																															
121	LL-1140	CHANNEL KNIFE & SLIDE GATE VALVES & ACCS	427d	8/23/21	5/12/23	8/23 ————— 5/12																																															
122	LL-1020	DUCTILE IRON PIPE & FTGS	75d	8/31/21	12/17/21	8/31 ————— 12/17																																															
123	LL-1100	FTW PUMPS & MOTORS	213d	9/15/21	8/1/22	9/15 ————— 8/1																																															
124	LL-1120	ELECTRICAL MCC & EQPT -EXCEPT VFD	353d	9/22/21	2/28/23	9/22 ————— 2/28																																															
125	LL-1110	PROCESS INSTRUMENTATION	371d	10/6/21	4/7/23	10/6 ————— 4/7																																															
126	LL1150	FILTER SYSTEM BLOWER VFD	383d	10/28/21	5/17/23	10/28 ————— 5/17																																															
127		<b>CONSTRUCTION</b>	<b>662d</b>	<b>8/2/21</b>	<b>3/25/24</b>	8/2 ————— 3/25																																															
128		<b>PRELIMINARY</b>	<b>14d</b>	<b>8/2/21</b>	<b>8/19/21</b>	8/2 ————— 8/19																																															
129	A0-0-1000	USA & NOTIFICATIONS	5d	8/2/21	8/6/21	8/2   8/6																																															
130	A0-0-1010	MOBILIZATION, PRECONSTR SURVEY	5d	8/9/21	8/13/21	8/9   8/13																																															
131	A0-0-1020	EXISTG CONDITIONS VERIF & UTILITY LOCATING	5d	8/9/21	8/13/21	8/9   8/13																																															
132	A0-0-1050	SURVEYING & LAYOUT	1d	8/16/21	8/16/21	8/16   8/16																																															



















## Nunes WTP Upgrades Letter #1

**Date:** 10/8/21

**Client:** Coastside County Water District  
766 Main St, Half Moon Bay, CA 94019

**Attn:** Josh Kimbrell (Freyer & Laureta) - Project Construction Manager

**Subject:** Uncontrollable delays to the project

Dear Mr Kimbrell,

As previously discussed during the recent progress meetings, Ranger Pipelines Inc are experiencing uncontrollable delays to various critical aspects of this project. These include delays from vendors and sub-contractor vendors in assembling submittals and delays to the supply chain causing longer than normal lead times with inflated pricing.

We have been informed that the recent COVID 19 pandemic has played a major role in these delays with vendors experiencing staffing issues leading to a back log in their workload along with the ongoing material shortages.

Below are a list of critical long lead items which are currently affected or have been delayed:

- 1. Submittals and potentially supply of the ball valves, knife gate and plug valves.
- 2. Submittals and potentially supply of the Plate Settler system
- 3. Submittals and potentially supply of the 316SS air scour piping
- 4. Submittals and potentially supply of MCC 3.

Ranger Pipelines will continue to work with vendors to expedite the processes and will keep the project team updated as the project continues. Ranger Pipelines will also do what's feasible to accelerate the schedule once materials are successfully on site however if the current trend of delays continues we may be forced to request a non compensable time extension or an acknowledgment that liquidated damages would not be enforced for these uncontrollable delays.

Please feel free to contact me at any time to discuss more.

Sincerely,

*S McLaughlin*

Stephen McLaughlin– Project Manager

10/8/21

Date



Henry Pratt Company, LLC  
401 South Highland Avenue  
Aurora, IL 60506

phone: 630-844-4000  
fax: 630-844-4124  
[www.prattvalve.com](http://www.prattvalve.com)

10/18/21

Mr Rory Gamblin  
Core & Main  
939 Broadway St  
Redwood City, CA 94063

RE: Delays Pratt S/O 51275236  
Nunes WTP Upgrades

Rory,

*We are experiencing delays at many levels which are pushing our quoted lead-times out across the board. This is not something unique to Pratt but is a nationwide issue due to extreme back-ups at the ports, foundry capacity (both foreign and domestic), and other various suppliers at the component level.*

*Currently our manufacturing facilities are up and running and we are working with our team of suppliers to mitigate these delays as best we can. However, we ask that our customers understand the potential for delays as we work through these projects together.*

*Should you have any questions feel free to contact me directly.*

Regards,

Brett Hoffman  
Western Regional Sales Manager  
Cell - 630-212-5057  
E-Mail - [BHoffman@muellerwp.com](mailto:BHoffman@muellerwp.com)



January 27, 2023

Brian Causey

Blocka Construction Inc

Subject – Nunes – VFD - Global Supply Chain Update

20F1ANB130JN0NNNNN – Expected ETA May 22, 2023

We, along with many industries and customers, continue to face broad-based, ongoing supply constraints stemming from component shortages, material scarcity, logistics challenges, and related issues. These challenges are compounded by the macroeconomic conditions and geopolitical events around the world including war, unexpected shutdowns due to the pandemic, and natural disasters. As a result, there are longer lead times for some of our product lines and more frequent changes to our sales order shipment dates.

We have continued to update and post product lead times every two weeks to ensure that we are appropriately reflecting the reality of our supply chain. We continue to make system adjustments to improve our delivery date reliability and minimize reschedules. Additionally, we have made large-scale investments to support our orders growth. We are confident that we have built capacity across our network and we continue to monitor our capacity for any additional requirements.

Despite these investments, we continue to face volatility in the availability of components, which is beyond our control. We are fully aware of the unfortunate inconvenience and frustration this has created for partners and customers.

## Ongoing actions we are taking:

- Extending order visibility to our supply base to ensure we are appropriately planning for extended component lead times
- Securing longer-term supply agreements with critical partners
- Re-engineering of existing products to increase component supply resiliency
- Capacity investments, with redundant manufacturing lines and additional electronic assembly equipment
- Qualification of additional suppliers to diversify our supplier base

## Rockwell Automation Manufacturing Lead Times

The product information listed is estimated in calendar days for those select products that may be experiencing delays because of ongoing supply constraints stemming from components shortages and related issues.

NOTE: This table will be updated every two weeks.

[VIEW THE LEAD TIMES NOW](#)

---

## Our Order Cancellation and Return Policy

To continue to improve our commitment dates for partners and customers and to apply our policies more consistently, we will charge a standard fee for order cancellations and product returns effective January 15, 2023. The standard fee is for orders cancelled or products returned after that date.

[VIEW THE ORDER CANCELLATION AND RETURN POLICY](#)

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## Resources and contact information

Our team of global engineering specialists are ready to assist you from one of our global remote support centers. Additionally, you can also access over 100,000 expert-written technical articles in our [Support Center](#).

If monitoring and maintenance of critical applications, assets or OT Infrastructure become a challenge, we offer remote monitoring and administration services to help minimize your risk of downtime. We also offer virtual training classes to supplement instructor-led courses, which are temporarily suspended. Please contact your [local Rockwell Automation sales office](#) or [authorized distributor partner](#) if you'd like to learn more about any of these service offerings.



Thursday, October 28, 2021

**Attention:** Mr. Stephen McLaughlin  
Ranger Pipelines Inc.  
1790 Yosemite Avenue  
San Francisco, CA 94124

GMI JOB #: AM 05017-01

**Project:** City of Half Moon Bay – Nunes Water Treatment Plant Upgrades  
Specification Section 43 23 16 Pumping Equipment – Inline Centrifugal Pumps

Dear Stephen,

This letter is regarding Cornell lead times for the above referenced pumps. Cornell is experiencing logistics delays (i.e. at the ports) for the motors used in their pump assemblies. Currently, we are looking at approximately 20-22 weeks for the pumps to ship. We are hoping this will improve and will provide updates as soon as we can.

Sincerely,

Angie McDaniel  
*Sales Engineer*  
*Northern California*



P: (714) 236-6070 Ext. 1003

C: (916) 996-1739

D: (916) 307-6836

F: (714) 236-6080

Email: [amcdaniel@gierlich-mitchell.com](mailto:amcdaniel@gierlich-mitchell.com)

Steve Wilkes  
KBL Associates, Inc.  
26269 Research Rd.  
Hayward, CA 94545

Subject: 2969 Nunes WTP Upgrades Project

Re: Motor Control Center

Dear Steve,

Due to circumstances related to COVID-19 our supply chain continues to be impacted in a manner that requires extended lead-times of our standard shipping schedule.

Current lead-times for motor control centers are running 18-22 weeks from release. Please note we are experiencing supply chain issues with all components including starters, breakers, SPD's and meters.

Please know that Eaton is exhausting all resources in an effort to obtain all material required to build the product our customers require. We apologize for the delay and appreciate your continued business with us. Please feel free to reach out to me if you have any questions or would like to discuss.

Regards,



**Tim Carlson**  
Executive Sales Engineer  
Eaton Corporation  
Mobile: 510.821.1914  
[timpcarlson@eaton.com](mailto:timpcarlson@eaton.com)

**STAFF REPORT**

**To:** Coastside County Water District Board of Directors  
**From:** Mary Rogren, General Manager  
**Agenda:** July 11, 2023

**Report**

**Date:** July 7, 2023

**Agenda Title:** Purchase of Hydrants and Check Valves from Underground Republic

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**Recommendation/Motion:**

**Authorize the General Manager to procure 20 Clow 2065 bronze wet barrel hydrants and Clow LP 619 Hydrant Check Valves for \$142,100 from Underground Republic.**

**Background:**

The District's Capital Improvement Program includes \$140,000/year for dry barrel hydrant replacement through FY 32/33. The District has ~660 hydrants throughout the distribution system. Approximately 250 of these are dry barrel hydrants. Dry barrel hydrants are designed for freezing climates and are notoriously problematic to repair and maintain.

Staff recently submitted a request for bids for 20 hydrants and check valves from four vendors. Underground Republic was the lowest bidder at \$4,689/per hydrant and \$1,804/per check valve (before tax). See Attachment A.

**Fiscal Impact:**

The District's Capital Improvement Program includes \$140,000 in Fiscal Year 2023-2024 for this purchase.

# Attachment A



UNDERGROUND REPUBLIC WATER WORKS  
 2882 SPRING ST  
 REDWOOD CITY, CA 94063  
 Phone 650-955-7473  
 Fax XXX-XXX-XXXX



## Quotation

EXPIRATION DATE	QUOTE NUMBER
06/26/2023	S100008590
UNDERGROUND REPUBLIC WATER WORKS 2882 SPRING ST REDWOOD CITY, CA 94063 Phone 650-955-7473 Fax XXX-XXX-XXXX	PAGE NO.  1 of 1

QUOTE TO:

SHIP TO:

COASTSIDE COUNTY WATER DISTRICT  
 766 MAIN STREET  
 HALF MOON BAY, CA 94019

COASTSIDE COUNTY WATER DISTRICT  
 766 MAIN STREET  
 HALF MOON BAY, CA 94019

CUSTOMER NUMBER	CUSTOMER PO NUMBER	JOB NAME / RELEASE NUMBER	SALESPERSON	
511	HYDRANT AND CHECK VALVE		Jake Perez	
WRITER	SHIP VIA	TERMS	SHIP DATE	ORDERED BY
Tony Nagata	OT OUR TRUCK	Net 30 Days	06/30/2023	DARIN
ORDER QTY	DESCRIPTION		UNIT PRICE	EXT PRICE
20ea	2065 CLOW HYDRANT; (1)2-1/2; (2)4-1/2		4689.000/ea	93780.00
20ea	LP619 CLOW HYDRANT B/O CHECK *FEC-CLOW* 8MIL MIN EPOXY EXTERIOR ***** ESTIMATED LEAD TIME IS 10 TO 12 WEEKS FROM CLOW VALVE *****		1807.000/ea	36140.00
Sales tax is not included in this quote. The URWW terms & conditions are set forth at <a href="http://www.urwaterworks.com">www.urwaterworks.com</a> These terms & conditions are incorporated herein, and this quote is subject to such terms & conditions.			Subtotal	129920.00
			S&H Charges	0.00
			Amount Due	129920.00

**STAFF REPORT**

**To: Coastside County Water District Board of Directors**

**From: James Derbin, Superintendent of Operations**

**Agenda: July 11, 2023**

**Date: July 6, 2023**

**Subject: Nunes Water Treatment Plant Upgrades Project Update #23**

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**Informational Item**

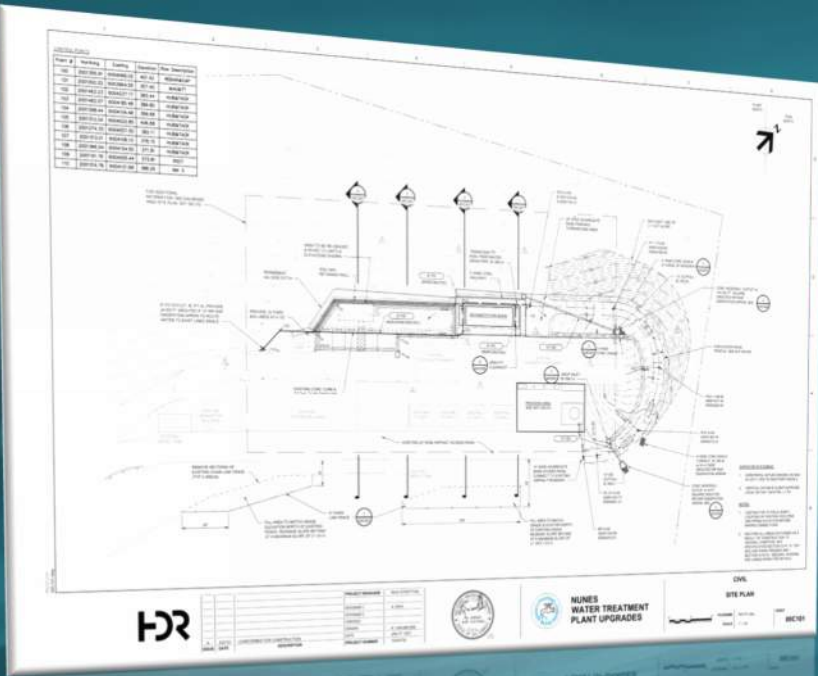
The Nunes Water Treatment Plant Upgrade Project official contractual start date was August 16, 2021. This is monthly project update #23.

In the last month the following progress has been made:

- Installation of the Filter #4 air scour valves and piping
- Final electrical work on air scour blower
- Installation and testing of the underdrain system in Filter #4
- Filter wall patched and coated
- Loading Filter #4 with sand and media

The estimated completion date has been pushed out to June 2024.

Freyer and Loretta, Inc., the Construction Management firm on this project has put together a brief summary of progress to date. See Attachment A.



# Coastsides County Water District Nunes Water Treatment Plant Upgrades July 11, 2023 Board Meeting



# Contract Data as of Board Meeting Date

Contract Time (Calendar Days)		Contract Value	
Base Contract Duration	720	Base Contract	\$8,339,915.00
<i>Approved Change Order Days Added</i>	0	Approved Change Order Added	\$0
<i>Approved Change Order Days Subtracted</i>	0	Approved Change Order %	0%
Total Contract Duration	720	Total Contract Approved	\$8,339,915.00
Elapsed (Start Date 8/16/2021)	694	Billed to Date <sup>1</sup>	\$6,706,500.00
Remaining Days	26	Remaining Value	\$1,633,415.00

<sup>1</sup> Billed to date value is the contract work complete including the 10% retention that will be paid to Contractor upon project completion.

# Construction Progress Update #23

## Progress since Previous Board Meeting:

- Setting of air scour valves.
- Final electrical work for blowers.
- Installation of underdrain system in Filter 4.
- Testing of underdrain system with Ovivo.
- Existing filter 4 holes cored for underdrain placement has been filled with grout, rebar placed, and interior wall of filter has been coated.
- Commissioning and testing of equipment by Calcon.

# Construction Progress Update (continued)

## Three-Week Look Ahead Schedule:

Major items of work anticipated over next 3-4 weeks are as follows:

- Place media in Filter 4
- Filter 4 chlorination
- Filter 4 back on line
- ⊖ Knife gate valve installation per RFI #103.
- ⊖ Cleaning of new Sedimentation Basin, disinfection, testing, and final adjustments.
- ⊖ Butterfly valve startup and limit testing.
- ⊖ Performance testing of filter-to-waste pumps.
- ⊖ Commissioning and testing of equipment by Calcon.

## Overall Project Schedule:

- ⊖ Now that the Variable Frequency Drive (VFD) and all valves except one are onsite, procurement uncertainty is largely finished. Ranger is awaiting just one more valve (for the air scour system).
- ⊖ Time-only Change Order (no cost) will be submitted extending project end-date to June 2024. This includes approximately 3-months of float, so completion could be as early as March/April 2024.



Construction Photos

## **MONTHLY REPORT**

**To:** Mary Rogren, General Manager  
**From:** James Derbin, Superintendent of Operations  
**Agenda:** July 11, 2023  
**Report Date:** July 7, 2023

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### **Monthly Highlights**

- Denniston WTP ran most of the month of June and is currently running at ~400 gpm

**June Sources:** Pilarcitos/Denniston

### **Projects**

- Nunes Water Treatment Plant Improvement Project - Ongoing
- Hach WIMS Database configured and under final development
- HMB Tank Magnetic meter project - 95% Complete
- Mowing at Cahill/CSP/Nunes
- Nunes Mag Meter is powered up and can be physically read. Integrating into SCADA in July.
- EKI
  - Hwy 92 Emergency repair scoping/design/planning/easements - ongoing
- HDR
  - Half Moon Bay Tank replacement project  
Plans for replacement of HMB tanks 1&2 at 100% design comments in. SWCA conducted a Biological survey of the site for permitting and now will help with NOE as requested by City staff before a CDP exemption can be issued.
- Stetson
  - 90% San Vicente Pipeline Design - staff comments in, met with design engineers and staff to discuss. Revision under review.

## STAFF REPORT

**To:** Board of Directors  
**From:** Cathleen Brennan, Water Resources Analyst  
**Agenda:** July 11, 2023  
**Report:** July 6, 2023  
**Subject:** Water Resources Informational Report

### State of California

Consumer Confidence Reports (CCR) must conform with the California Code of Regulations [Title 22, Chapter 15, Article 20] and law [California Health and Safety Code, HSC, section 116470].  
[https://www.waterboards.ca.gov/drinking\\_water/certification/drinkingwater/Lawbook.html](https://www.waterboards.ca.gov/drinking_water/certification/drinkingwater/Lawbook.html)

### Safe Drinking Water Act

In 1996, Congress amended the Safe Drinking Water Act, adding a requirement that water systems deliver to their customers a brief annual water quality report.

## 2022 Consumer Confidence Report (CCR) Annual Water Quality Report

The drinking water delivered to customers met all U.S. EPA and California drinking water health standards in calendar year 2022.

Instead of mailing the entire report to customers, the District mailed a postcard to customers with a direct link to the CCR on the District's website. The postcard for the 2022 CCR was delivered to customers by July 1<sup>st</sup>.

The CCR was posted on the District's website on June 14<sup>th</sup> and can be found under the Your Water drop-down menu.  
<http://www.coastsidewater.org/water-quality.html>

A direct link was provided on the postcard that brings you directly to the CCR.

English: [www.coastsidewater.org/wqr](http://www.coastsidewater.org/wqr)  
Spanish: [www.coastsidewater.org/wqr-spa](http://www.coastsidewater.org/wqr-spa)

The District sent an electronic newsletter on July 1<sup>st</sup> advertising the availability of the CCR. It has also been posted on social media platforms.

There are eight basic requirements included in the CCR:

- § Water System Information
- § Sources of Water
- § Definitions
- § Reported Levels of Detected Contaminants
- § Monitoring for Cryptosporidium and Other Contaminants
- § Compliance with Other Drinking Water Regulations
- § Variances and Exemptions
- § Required Educational Information

In addition to water quality data, the CCR contains information on how to contact the District, Board of Directors meetings, water

conservation, capital improvements, and WaterSmart. The District strives to make a professional report that is easy to read.

The three most common water quality questions the District is asked by customers are:

- ✓ Do you fluoridate the water?
- ✓ Do you use chloramines for disinfection?
- ✓ What is the hardness of my drinking water?

The CCR provides an opportunity to educate customers on water sources, water delivery and the value of drinking water to the community.



# Annual Water Supply and Demand Assessment (AWSDA) Report

Staff submitted the District's AWSDA Report through the WUE portal to the California Department of Water Resources on June 15, 2023. The District reported that water supplies are normal with no expected water shortage for Fiscal Year 2023-2024.

## ***California Water Code | CWC §10632.1***

*An urban water supplier shall conduct an annual water supply and demand assessment pursuant to subdivision (a) of Section 10632 and, on or before July 1 of each year, submit an annual water shortage assessment report to the department with information for anticipated shortage, triggered shortage response actions, compliance and enforcement actions, and communication actions consistent with the supplier's water shortage contingency plan. An urban water supplier that relies on imported water from the SWP or the Bureau of Reclamation shall submit its annual water supply and demand assessment within 14 days of receiving its final allocations, or by July 1 of each year, whichever is later.*